



10 SUNNYSIDE AVE. COMPREHENSIVE PERMIT

INDEX OF DRAWINGS

GENERAL	
G0.00	COVER SHEET
G0.01	LOCUS MAP
G0.02	BUILDING RENDERINGS
G0.03	BUILDING RENDERINGS
SURVEY	
-	ALTA / NSPS LAND TITLE SURVEY SHEET 1/1
--	ALTA / NSPS LAND TITLE SURVEY SHEET 2/2
CIVIL	
C1.00	SITE PREPARATION AND EROSION CONTROL PLAN
C2.00	SITE LAYOUT PLAN
C3.00	SITE UTILITY PLAN
C4.00	GRADING PLAN
C5.00	STORMWATER MANAGEMENT PLAN
C6.00	CIVIL DETAILS
C6.01	CIVIL DETAILS
C6.02	CIVIL DETAILS
ARCHITECTURAL	
A1.01	FLOOR PLAN - FIRST FLOOR
A1.02	FLOOR PLAN - SECOND FLOOR
A1.03	FLOOR PLAN - THIRD & FOURTH FLOORS
A1.05	FLOOR PLAN - FIFTH FLOOR
A1.07	FLOOR PLAN - ROOF
A3.00	EXTERIOR ELEVATION - EAST (SUNNYSIDE AVE)
A3.01	EXTERIOR ELEVATION - WEST (REAR)
A3.02	EXTERIOR ELEVATION - SOUTH
A3.03	EXTERIOR ELEVATION - NORTH
A3.10	BUILDING AXONS
A3.50	BUILDING SECTIONS - E-W
A3.51	BUILDING SECTIONS - N-S

ZONING SUMMARY

REGULATIONS	REF. SECTION	ALLOWED	PROPOSED	RELIEF REQUESTED
LOT AREA MIN.	Table 5.5.2.A	No Requirement	16,500 sf	N
LOT AREA MIN. PER UNIT	Table 5.5.2.A	No Requirement	N/A	N
LOT FRONTAGE MIN.	Table 5.5.2.A	50'	132'	N
FRONT SETBACK	Table 5.5.2.B	0'	2' to 10'	N
SIDE SETBACK	Table 5.5.2.B	0'	5'-6" and 12'	N
REAR SETBACK	Table 5.5.2.B	10+(L/10)	5'-6"	Y
SCREENING & BUFFERING	Sec. 5.3.21.A.1	Not Required	N/A Site does not abut residential lots, not subject to screening requirements	N
SCREENING FOR OFFSTREET PARKING	Sec. 5.3.21.A.2	Not Required per 6.1.11.C	N/A All parking is within building, not subject to screening requirements	N
UPPER- STORY STEPBACKS	Sec. 5.3.21.A.2. C	7.5' required above the third story	6' and 3' stepbacks for part of L5, otherwise none	Y
OPEN SPACE	Sec. 5.2.2.B and 5.3.21.A.2.D	Min. 10% Landscape and 20% Usable Open Space	1,500 Landscape and 2,000 sf Usable Open Space	Y
FAR	Sec. 5.5.2B Amendment, June 2022	3	2.97	N
BUILDING HEIGHT	Table 5.5.2.B	60' / 5 stories	60' / 5 stories	N
PARKING MIN.	Sec. 6.1.5	0.25 spaces per DU	0.49	N
LONG-TERM BIKE PARKING MIN.	Sec. 6.1.12	1.5 /DU and 0.3 /1000 gsf Office	37 (65 required)	Y
SHORT-TERM BIKE PARKING MIN.	Sec. 6.1.12	0.1/DU and 0.5/1000 gsf Office	6 (5 required)	Y
SURFACE PARKING LOT SETBACK	Sec. 6.1.11.D	10' front and 5' sides and rear with fence	10' front and 5'-6" to 12' sides	Y

NOTE: Refer to formal waiver request prepared by project attorney for additional detail.

AREA SUMMARY

LEVEL	GSF	1-BR	2-BR	3-BR	NON-RESIDENTIAL PROGRAM
SITE AREA	16500				
GROUND FLOOR	3408	0	0	0	OFFICE AND MEETING RM (278 SF); COMMERCIAL/OFFICE (608 SF) AND PARKING
SECOND FLOOR	11520	3	5	2	COMMUNITY ROOM (727 SF)
THIRD FLOOR	11520	4	5	2	
FOURTH FLOOR	11520	4	5	2	
FIFTH FLOOR	11038	5	5	1	
TOTAL	49006	16	20	7	

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

STAMP

DATE

ISSUE / REVISION

03/09/2023

COMPREHENSIVE PERMIT

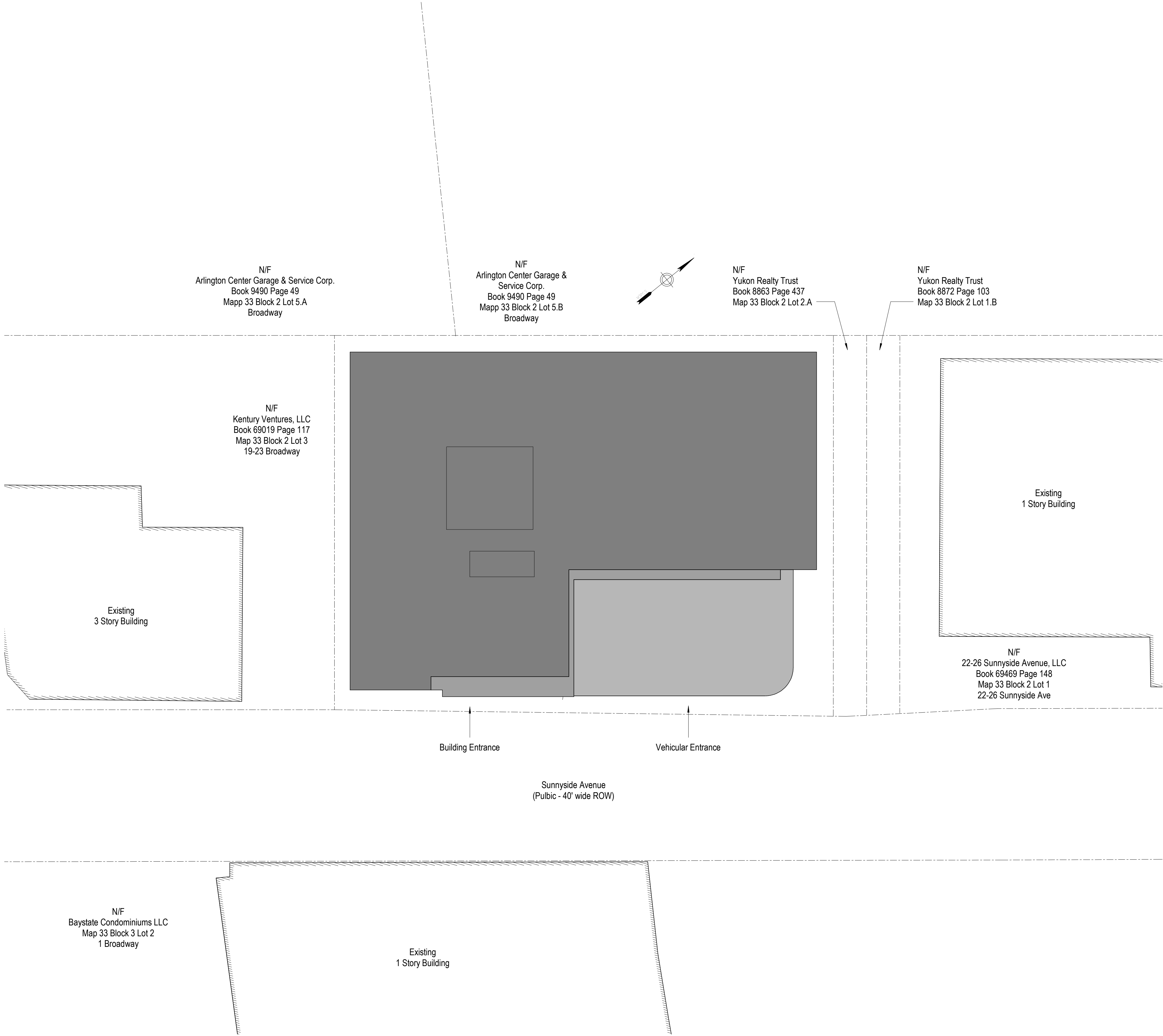
REVISIONS ON SHEET

SCALE

UTILITE PROJECT NUMBER
2244

COVER SHEET

G0.00



10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

OWNER

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/I/P

STAMP	
DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE	UTILE PROJECT NUMBER
1/16" = 1'-0"	2244

LOCUS MAP

G0.01



2 Rendering - Axon
1/4" = 1'-0"



1 Rendering - Elevational Perspective
1/4" = 1'-0"

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000 0000

OWNER

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6686

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/F/P

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE	UTILE PROJECT NUMBER
1/4" = 1'-0"	2244

BUILDING RENDERINGS

G0.02



2 Rendering - View Down Sunnyside
1/4" = 1'-0"



1 Rendering - Broadway at Sunnyside
1/4" = 1'-0"

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

OWNER

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6666

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/F/P

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

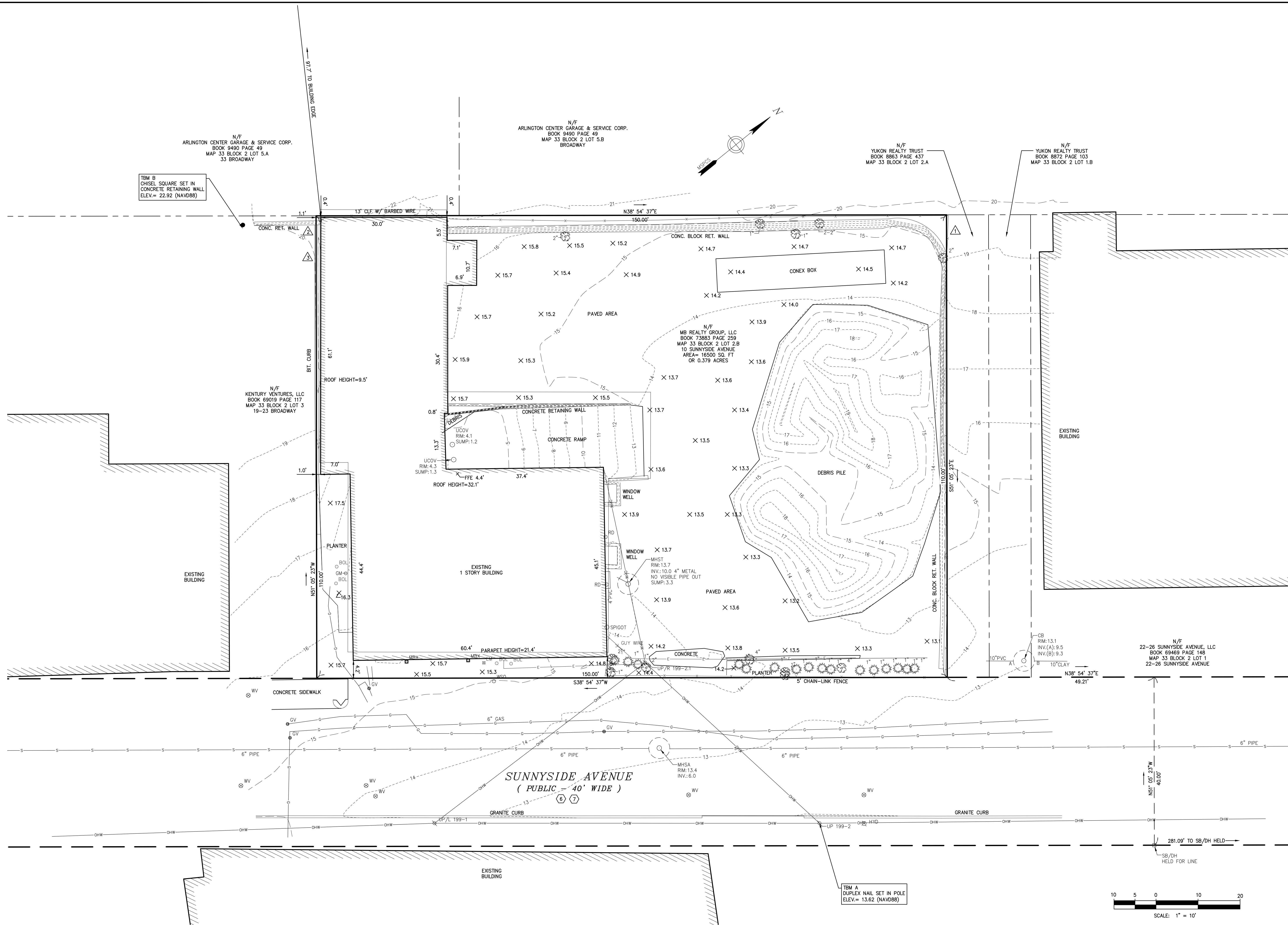
REVISIONS ON SHEET

SCALE 1/4" = 1'-0"	UTILE PROJECT NUMBER 2244
-----------------------	------------------------------

BUILDING RENDERINGS

G0.03

File: V:\PROJECTS\ANY\K6 078306.000\09 DESIGN SURVEY\ALTA_078306.DWG



PREPARED FOR:

HOUSING
CORPORATION OF
ARLINGTON

252
MASSACHUSETTS
AVENUE

ARLINGTON, MA
02474

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE
ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND
SURVEYOR TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE
STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING
ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND
SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE
NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE
DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION
OF THE ALTERATION.

PROJECT TITLE:

ALTA/NSPS LAND TITLE
SURVEY

10 SUNNYSIDE AVENUE

ARLINGTON, MA

No.	Submittal / Revision	App'd	By	Date
0	Issued For Review	WJD	MWC	09/09/2022
1	Attorney Comments	WJD	MWC	09/27/2022
2	Issued as Final	WJD	MWC	10/14/2022
3	Add Structures on Abutters Parcels	WJD	MWC	10/28/2022

Designed By: ---	Drawn By: MWC	Checked By: CDE
Issue Date: 9/09/2022	Project No: 078306	Scale: 1" = 10'

Drawing No.:

SHEET 1 OF 2

File: V:\PROJECTS\ANY\K6 078306.000\09_DESIGN\SURVEY\ALTA_078306.DWG

GENERAL NOTES:

1. THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC. IN AUGUST OF 2022.
2. ALL DEED REFERENCES ARE TO SOUTH MIDDLESEX COUNTY REGISTRY OF DEEDS UNLESS OTHERWISE NOTED.
3. LOCUS OWNER OF RECORD:
MB REALTY GROUP, LLC
DEED BOOK 73883 PAGE 259
MAP 33 BLOCK 2 LOT 2.B
4. TOPOGRAPHY, CONTOURS AND BENCHMARKS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TEMPORARY BENCHMARKS, REFERENCED TO THE DATUM ARE INDICATED ON THE SURVEY.
- IN THE EVENT THAT BENCHMARKS (TBM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.
5. THE PROJECT AREA IS LOCATED IN FLOOD ZONE "X" AREAS OF MINIMAL FLOODING AS SHOWN ON FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, COMMUNITY PANEL NUMBER 25017C0417E, EFFECTIVE DATE JUNE 4, 2010.
6. THE LOCUS PARCEL IS LOCATED IN THE TOWN OF ARLINGTON B4 DISTRICT (VEHICULAR ORIENTED BUSINESS) AS DEFINED BY THE TOWN OF ARLINGTON ZONING MAP.
7. LOCATION OF SUBSURFACE UTILITIES SHOWN HEREON ARE APPROXIMATE AND ADDITIONAL UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN. LOCATIONS ARE COMPILED FROM UTILITY PLANS OF RECORD AND DIG-SAFE FIELD MARKINGS. RIM AND INVERT INFORMATION HAS BEEN COMPILED AND FIELD VERIFIED WHERE POSSIBLE. THIS INFORMATION IS NOT TO BE USED FOR CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, CONTACT DIG-SAFE (811) TO FIELD VERIFY LOCATION OF ALL UTILITIES.
8. PLAN REFERENCES:
PLAN #354 OF 1957
PLAN #415 OF 1947
PLAN #723 OF 1955
PLAN BOOK 3202 PAGE END
9. THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE LAND SURVEYOR WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, FORMULATED IN ACCORDANCE WITH COMMONLY ACCEPTED PROCEDURES CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND AS SUCH IT CONSTITUTES NEITHER A GUARANTEE NOR WARRANTY, EITHER EXPRESS OR IMPLIED. THE CERTIFICATIONS SHOWN ARE NOT CERTIFICATIONS TO THE TITLE OR OWNERSHIP OF THE PROPERTIES SHOWN.
10. NO TREES OF 8" OR GREATER CALIPER WERE FOUND ON THE SITE.

RECORD DESCRIPTION: OFFICE NO. T99957A

LOT A SHOWN ON PLAN ENTITLED "LAND IN ARLINGTON, MASS., OWNED BY GRACE S. RUSSELL," DATED OCTOBER 25, 1905 BY DANA E. PERKINS, SURVEYOR, RECORDED WITH SAID DEEDS, BOOK 3202, PAGE END, EXCLUDING A 10 FOOT WIDE STRIP OF LAND ON THE NORTHEASTERLY SIDE OF LOCUS AS SET FORTH IN DEED OF ADLER M. B. HANSON ET AL, DATED NOVEMBER 29, 1956, RECORDED WITH MIDDLESEX COUNTY (SOUTHERN DISTRICT) REGISTRY OF DEEDS, BOOK 8863, PAGE 437.

ARLINGTON ASSESSOR'S PARCEL ID NO. 33-2-2.B

LEGEND:

	BUILDING LINE		WATER VALVE
	PARCEL BOUNDARY LINE		HYDRANT
	ADJOINING PARCEL LINE		ROUND CATCH BASIN
	STREET/HIGHWAY LINE		SQUARE CATCH BASIN
	EDGE OF ASPHALT		STORM MANHOLE
	EDGE OF CONCRETE		GAS VALVE
	FENCE LINE		SEWER MANHOLE
	ELECTRIC LINE		UTILITY POLE
	GAS LINE		EXCEPTION
	OVERHEAD UTILITY LINE		ENCROACHMENT
	SEWER LINE		PINE TREE
	DRAINAGE LINE		DECIDUOUS TREE
	WATER LINE		

SURVEY CERTIFICATION

FIDELITY NATIONAL TITLE INSURANCE COMPANY OFFICE NUMBER T99957A; DATED AUGUST 10, 2022.

THIS SURVEY IS MADE FOR THE BENEFIT OF:

MB REALTY GROUP, LLC TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, **FIDELITY NATIONAL TITLE INSURANCE COMPANY** TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, **HOUSING CORPORATION OF ARLINGTON** TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, **MASSDOCS LANDERS** TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, **LIFE INSURANCE COMMUNITY INVESTMENT INITIATIVE, LLC** TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 8, 9, 11, 11(a), 13, 17 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED IN AUGUST OF 2022.

THERE IS NO EVIDENCE OF CEMETERIES.

THE LEGAL DESCRIPTION FORMS A MATHEMATICALLY CLOSED FIGURE WITHOUT GAPS, GORES OR OVERLAPS.

THE PROPERTY HAVE DIRECT ACCESS TO SUNNYSIDE AVENUE, BEING A DEDICATED PUBLIC STREET.

THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE IS NO EVIDENCE OF USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THE PREMISES SHOWN ON THE SURVEY IS THE SAME PROPERTY DESCRIBED IN EXHIBIT A OF THE TITLE COMMITMENT.

WILLIAM J. DORGAN, PROFESSIONAL LAND SURVEYOR NO. 49622
DATE:

FIDELITY NATIONAL TITLE INSURANCE COMPANY,
OFFICE NUMBER: T99957A
SCHEDULE B PART 2
EFFECTIVE DATE: AUGUST 10, 2022

- RIGHTS OR CLAIMS OF PERSONS IN POSSESSION. **(NOT SURVEY RELATED)**
- EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS, BOUNDARY-LINE DISPUTES, OVERLAPS, ENCROACHMENTS, TITLE TO FILLED LANDS (IF ANY) AND ANY MATTERS NOT OF RECORD WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES. **(SEE THIS SURVEY WITH RESPECT TO ENCROACHMENTS)**
- ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL, HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. **(NOT SURVEY RELATED)**
- ANY DEFECT, LIEN, ENCUMBRANCES, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET. **(NOT SURVEY RELATED)**
- LIENS FOR TAXES AND MUNICIPAL CHARGES WHICH BECOME DUE AND PAYABLE SUBSEQUENT TO THE DATE OF SAID POLICY. **(NOT SURVEY RELATED)**
- TAKING BY THE TOWN OF ARLINGTON FOR CONSTRUCTING, MAINTAINING AND OPERATING WATER WORKS, DATED AUGUST 5, 1946, RECORDED WITH SAID DEEDS, BOOK 7029, PAGE 223. SEE ALSO PLAN NO. 1177 OF 1946, RECORDED WITH SAID DEEDS, BOOK 7029, PAGE 223. **(SEE THIS SURVEY)**
- ORDER OF TAKING BY THE TOWN OF ARLINGTON FOR THE LAYOUT OF SUNNYSIDE AVENUE, DATED APRIL 25, 1955, RECORDED WITH SAID DEEDS, BOOK 8456, PAGE 138. SEE ALSO PLAN NO. 723 OF 1955, RECORDED WITH SAID DEEDS, BOOK 8456, PAGE 138. **(SEE THIS SURVEY)**
- DECISION BY THE TOWN OF ARLINGTON ZONING BOARD OF APPEALS, RECORDED WITH SAID DEEDS, BOOK 78503, PAGE 1. **(NOT SURVEY RELATED)**

POTENTIAL ENCROACHMENTS:

- CHAIN-LINK FENCE CROSSES OVER PROPERTY LINE 0' TO 0.4'.
- RETAINING WALL CROSSES OVER PROPERTY LINE 0.8'.
- B.T. CURB CROSSES OVER PROPERTY LINE 0' TO 0.4'.

Drawing Copyright © 2022



PREPARED FOR:

HOUSING
CORPORATION OF
ARLINGTON

252
MASSACHUSETTS
AVENUE

ARLINGTON, MA
02474

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROJECT TITLE:

ALTA/NSPS LAND TITLE
SURVEY

10 SUNNYSIDE AVENUE

ARLINGTON, MA

No.	Submittal / Revision	App'd	By	Date
0	Issued For Review	WJD	MWC	09/09/2022
1	Attorney Comments	WJD	MWC	09/27/2022
2	Issued as Final	WJD	MWC	10/14/2022
3	Add Structures on Abutters Parcel B	WJD	MWC	10/28/2022

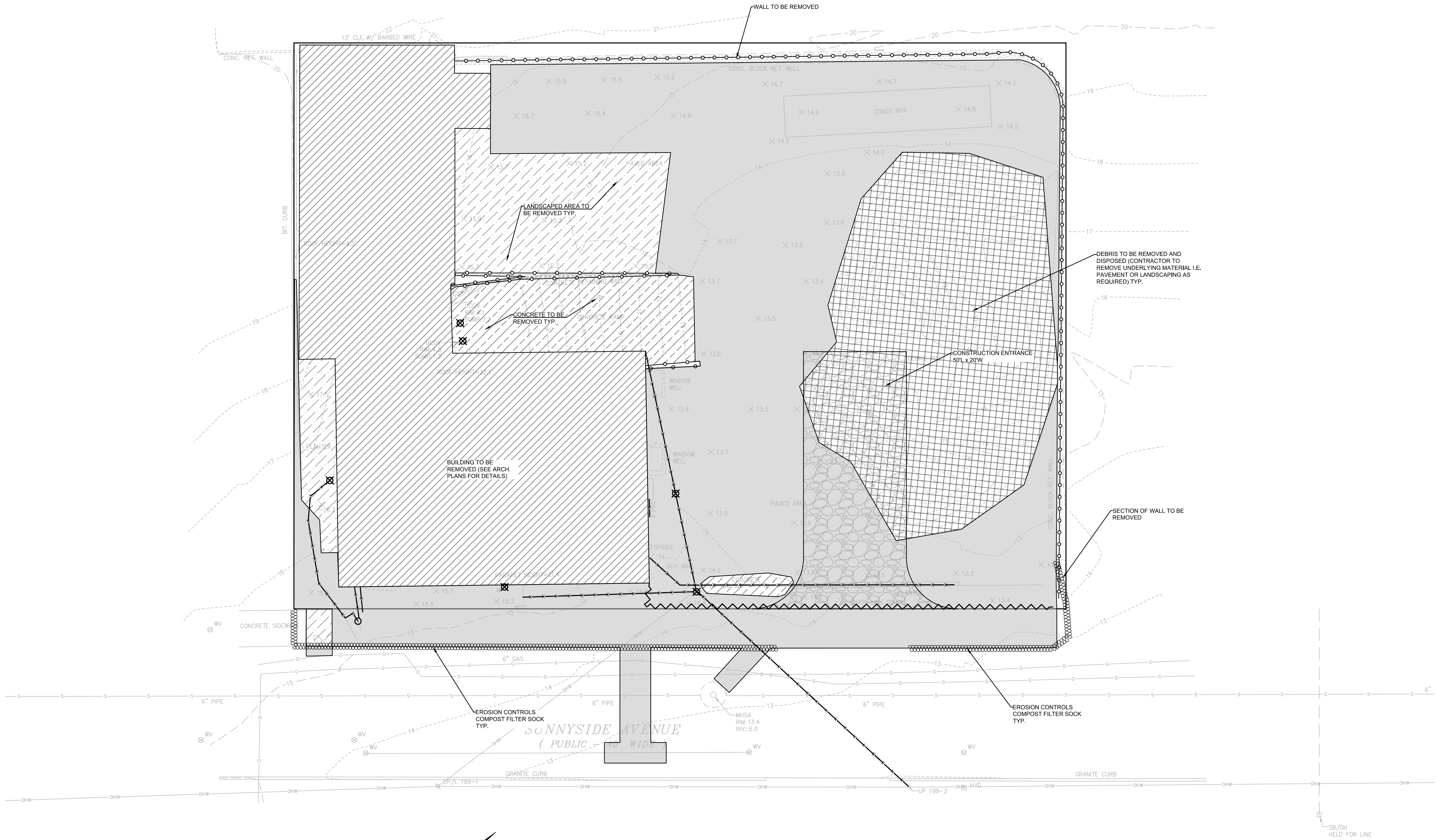
Designed By: ---	Drawn By: MWC	Checked By: CDE
Issue Date: 9/09/2022	Project No: 078306	Scale: 1" = 10'

Drawing No.:

SHEET 2 OF 2

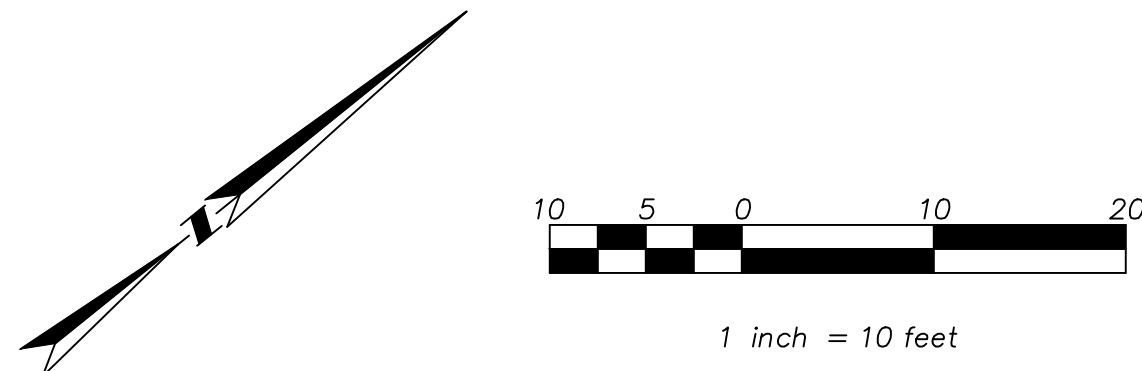
DEMOLITION LEGEND:

- BUILDING TO BE REMOVED
BITUMINOUS CONCRETE TO BE REMOVED/PULVERIZED
DEBRIS TO BE CLEARED
CEMENT CONCRETE TO BE REMOVED
AREA OF LOAM REMOVAL
FENCE REMOVAL
WALL TO BE REMOVED
UTILITIES LINE TO BE REMOVED
LIMIT OF WORK
EROSION CONTROL
UTILITIES STRUCTURE TO BE REMOVED
UTILITIES STRUCTURE TO BE ABANDONED IN PLACE



NOTE:
THE CONTRACTOR SHALL PHASE ALL
DEMOLITION AND REMOVAL WORK TO
ALLOW FOR THE CONTINUING OPERATION
OF ALL STRUCTURES OUTSIDE OF LIMIT OF
WORK.

NOTE:
DRAWING DOES NOT SHOW ENTIRE SCOPE
OF DEMO. IT IS INTENDED TO AID
CONTRACTOR WITH IDENTIFYING WORK
AND IS NOT ALL INCLUSIVE.



10 SUNNYSIDE
AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.899.5294 F 000.000.0000

OWNER

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMMINGHAM, MA 01701
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.466.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE
1" = 10'

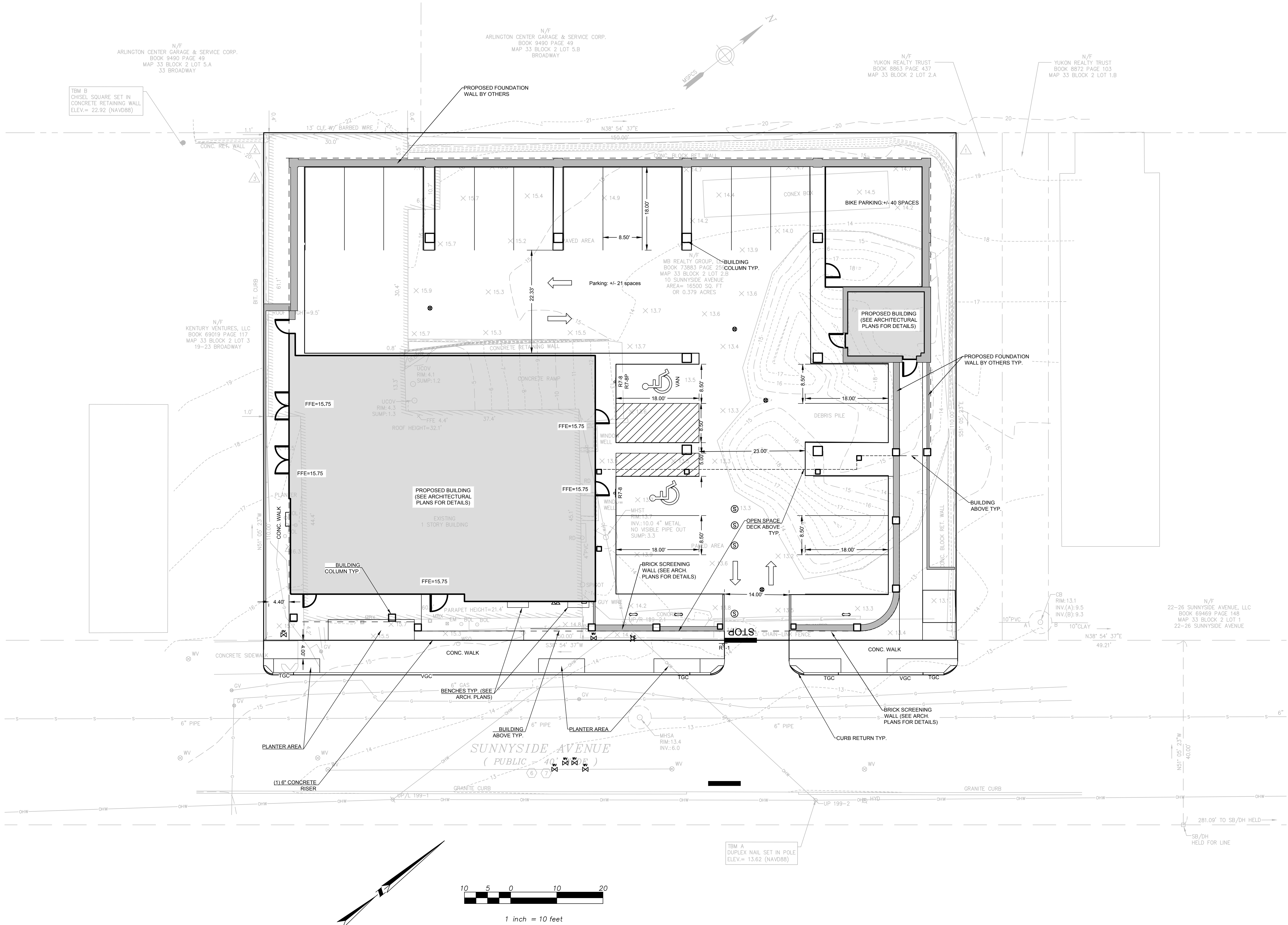
UTILITE PROJECT NUMBER
Arlington, MA

SITE PREPARATION
AND EROSION
CONTROL PLAN

C1.00

LEGEND:

FGC	PROPOSED FLUSH GRANITE CURB
VGC	PROPOSED VERTICAL GRANITE CURB
---	LIMIT OF WORK
+	PROPOSED SIGN
---	OVERHEAD BUILDING LOCATION



10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

OWNER

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utile.design.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6686

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE
1" = 10'

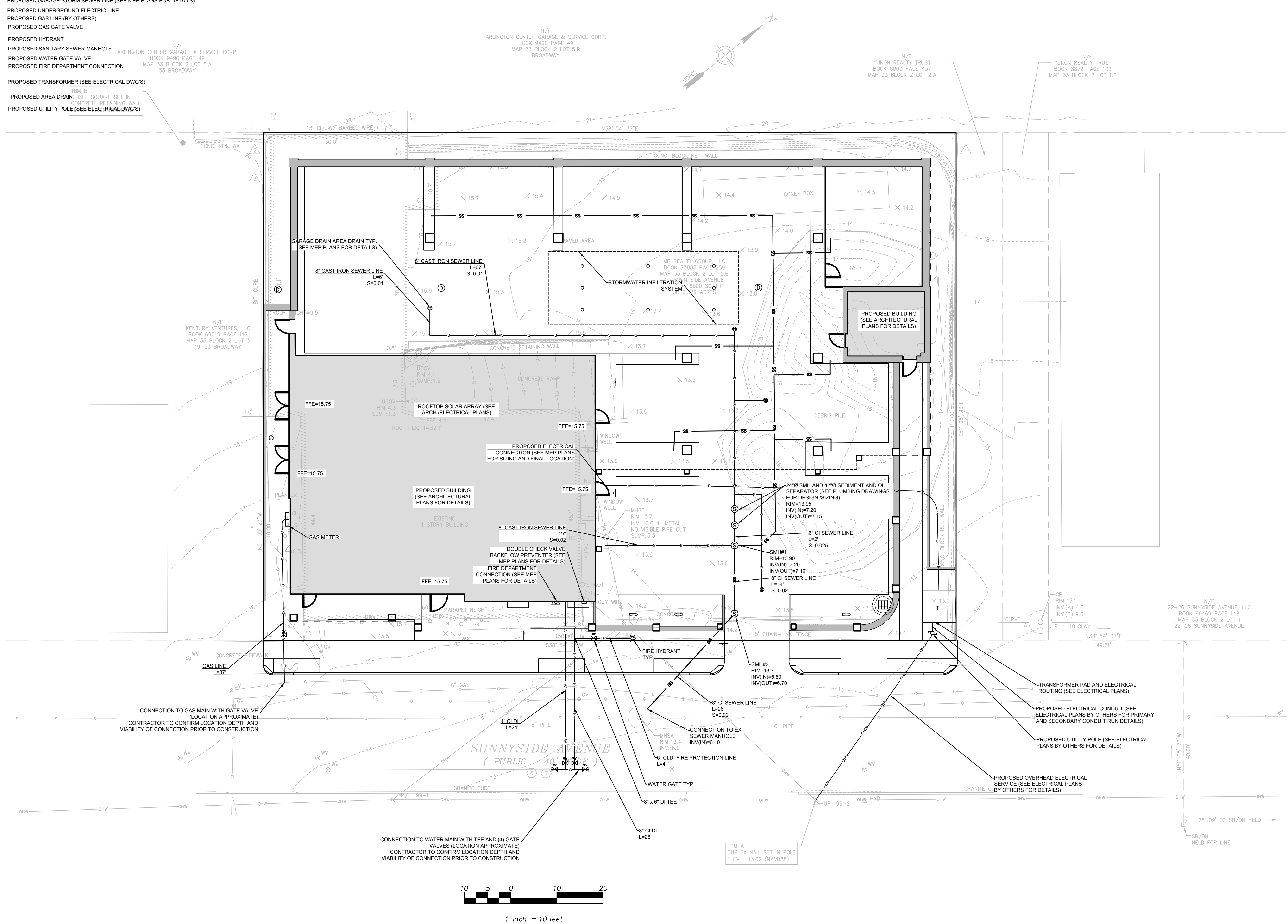
UTILE PROJECT NUMBER
Arlington, MA

SITE LAYOUT
PLAN

C2.00

LEGEND:

- W --- PROPOSED WATER LINE
--- FP --- PROPOSED FIRE PROTECTION LINE
--- SS --- PROPOSED SANITARY SEWER LINE (SEE MEP PLANS FOR DETAILS)
--- S --- PROPOSED GARAGE STORM SEWER LINE (SEE MEP PLANS FOR DETAILS)
--- E --- PROPOSED UNDERGROUND ELECTRIC LINE
--- G --- PROPOSED GAS LINE (BY OTHERS)
--- G --- PROPOSED GAS GATE VALVE
--- SMH --- PROPOSED HYDRANT
--- T --- PROPOSED SANITARY SEWER MANHOLE
--- T --- PROPOSED WATER GATE VALVE
--- T --- PROPOSED FIRE DEPARTMENT CONNECTION
--- T --- PROPOSED TRANSFORMER (SEE ELECTRICAL DWG'S)
--- T --- PROPOSED AREA DRAIN (SEE ELECTRICAL DWG'S)
--- T --- PROPOSED UTILITY POLE (SEE ELECTRICAL DWG'S)



10 SUNNYSIDE
AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.899.5294 000 000.0000

OWNER

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utilidesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMMINGHAM, MA 01701
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.466.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE 1" = 10' UTILE PROJECT NUMBER
Arlington, MA

SITE UTILITY
PLAN

C3.00

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMMINGHAM, MA 01701
P 978.877.6688

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.466.4301

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

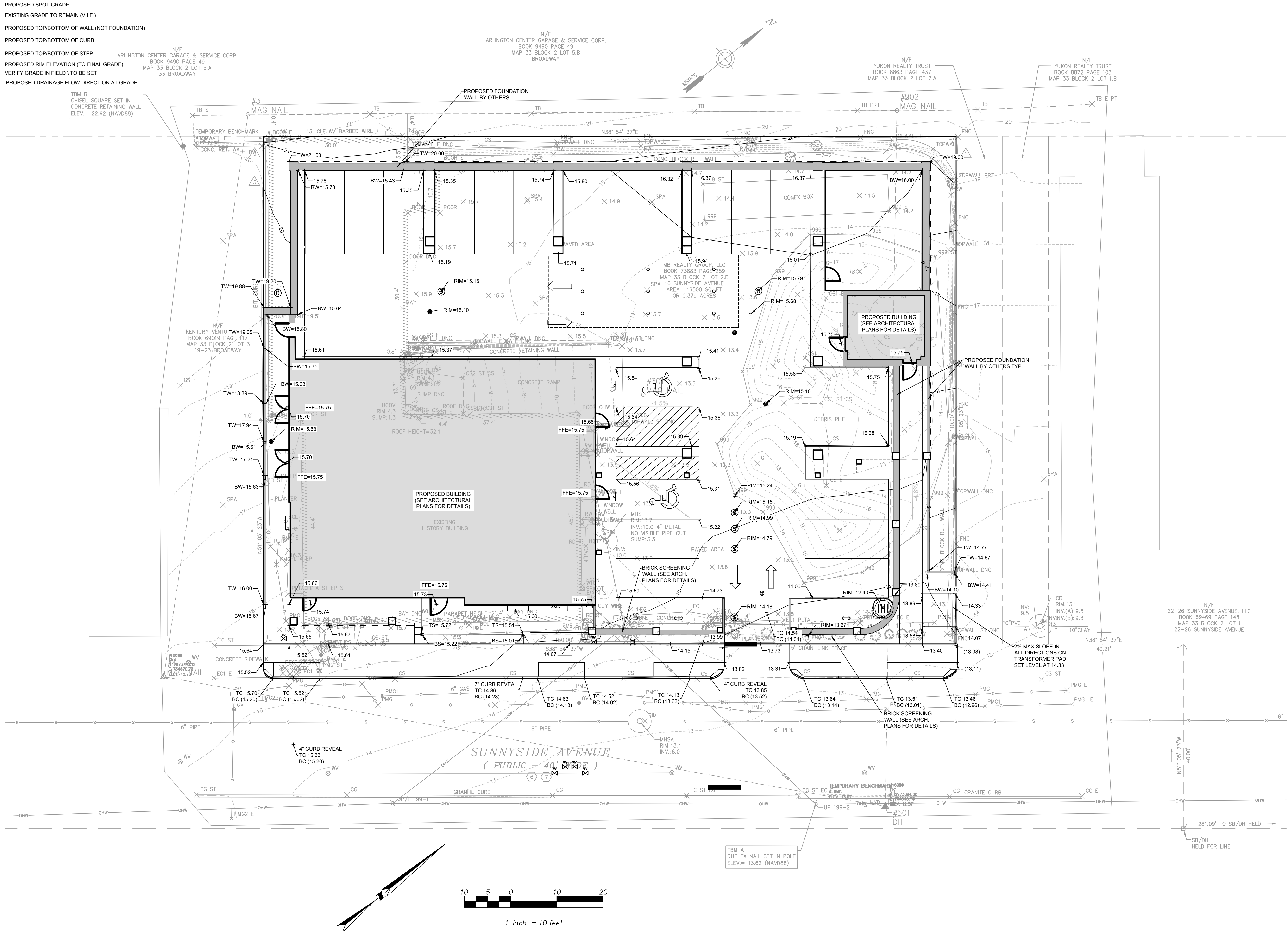
SCALE
1" = 10'

GRADING PLAN

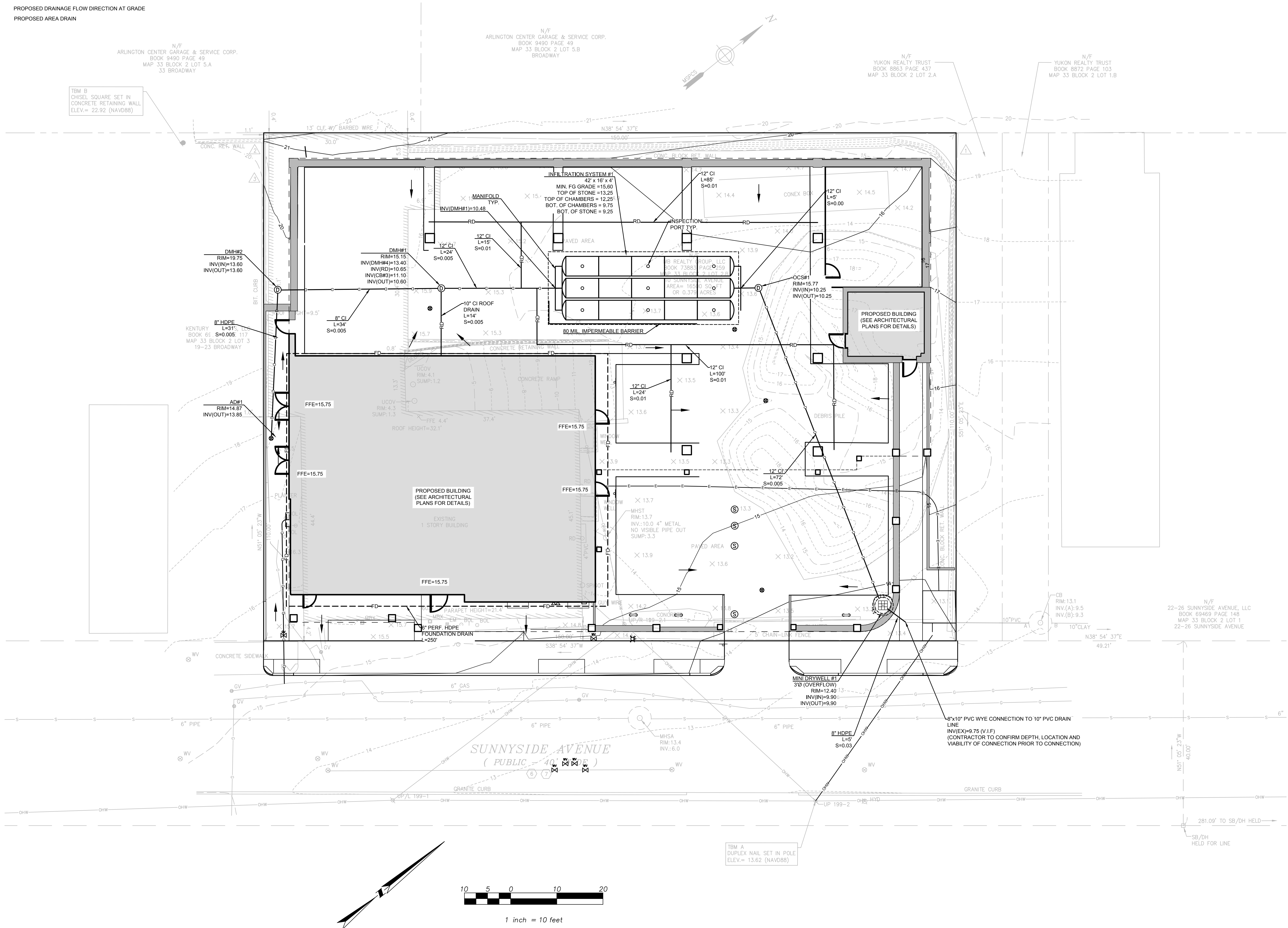
C4.00

LEGEND:

- W 129 --- PROPOSED INTERMEDIATE CONTOUR
- FP 130 --- PROPOSED INDEX CONTOUR
- 130.0 X --- PROPOSED SPOT GRADE
- SS (130.0) X --- EXISTING GRADE TO REMAIN (V.I.F.)
- TW=131.87 BW=130.50 X PROPOSED TOP/BOTTOM OF WALL (NOT FOUNDATION)
- TC=131.87 BC=130.50 X PROPOSED TOP/BOTTOM OF CURB
- TS=131.87 BS=130.50 X PROPOSED TOP/BOTTOM OF STEP
- RIM=130.20 X PROPOSED RIM ELEVATION (TO FINAL GRADE)
- V.I.F. VERIFY GRADE IN FIELD TO BE SET
- PROPOSED DRAINAGE FLOW DIRECTION AT GRADE



- LEGEND:**
- D PROPOSED STORM DRAINAGE LINE
 - RD PROPOSED ROOF DRAIN LINE (SEE MEP PLANS FOR DETAILS)
 - FD PROPOSED FOUNDATION DRAIN LINE
 - DMH PROPOSED STORM DRAINAGE MANHOLE
 - CB PROPOSED CATCH BASIN
 - PROPOSED DRYWELL W/ GRATE
 - PROPOSED DRAINAGE FLOW DIRECTION AT GRADE
 - PROPOSED AREA DRAIN



10 SUNNYSIDE
AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 000 000.0000

OWNER

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMMINGHAM, MA 01701
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.466.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

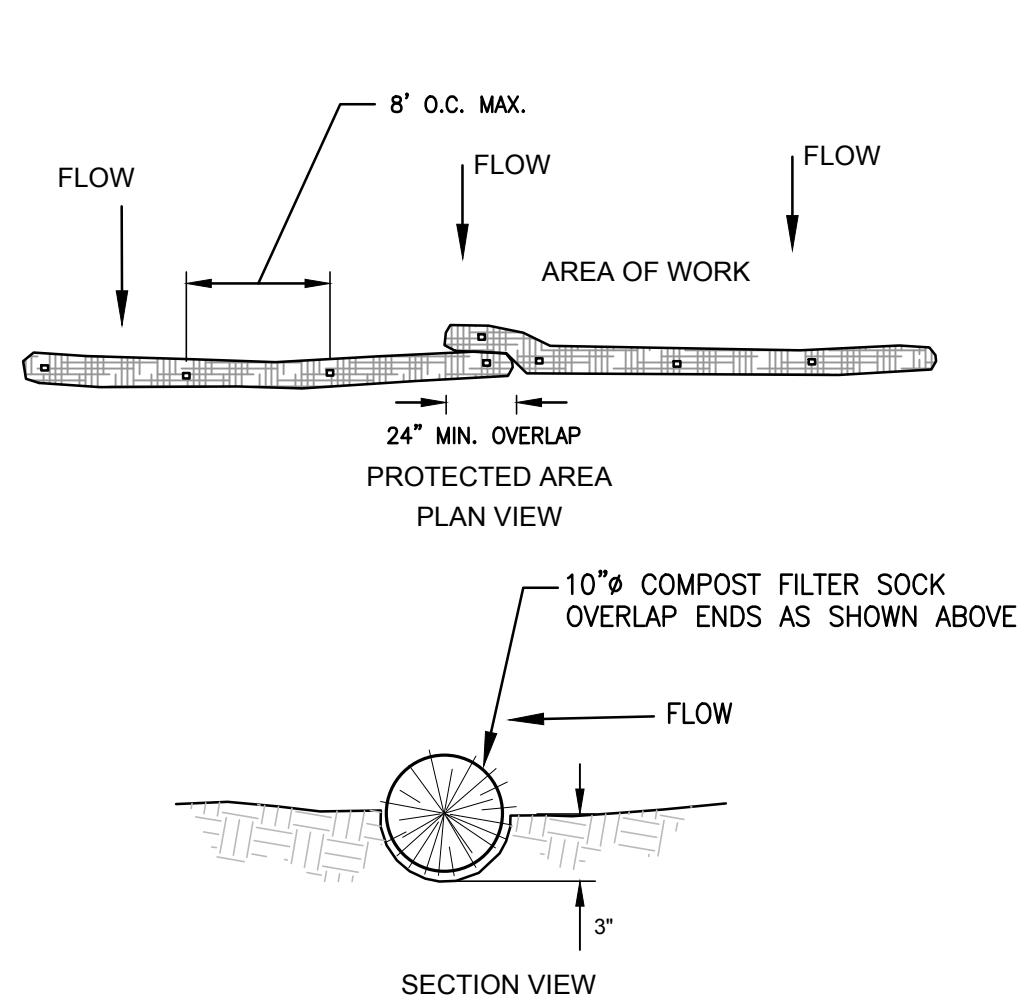
REVISIONS ON SHEET

SCALE
1" = 10'

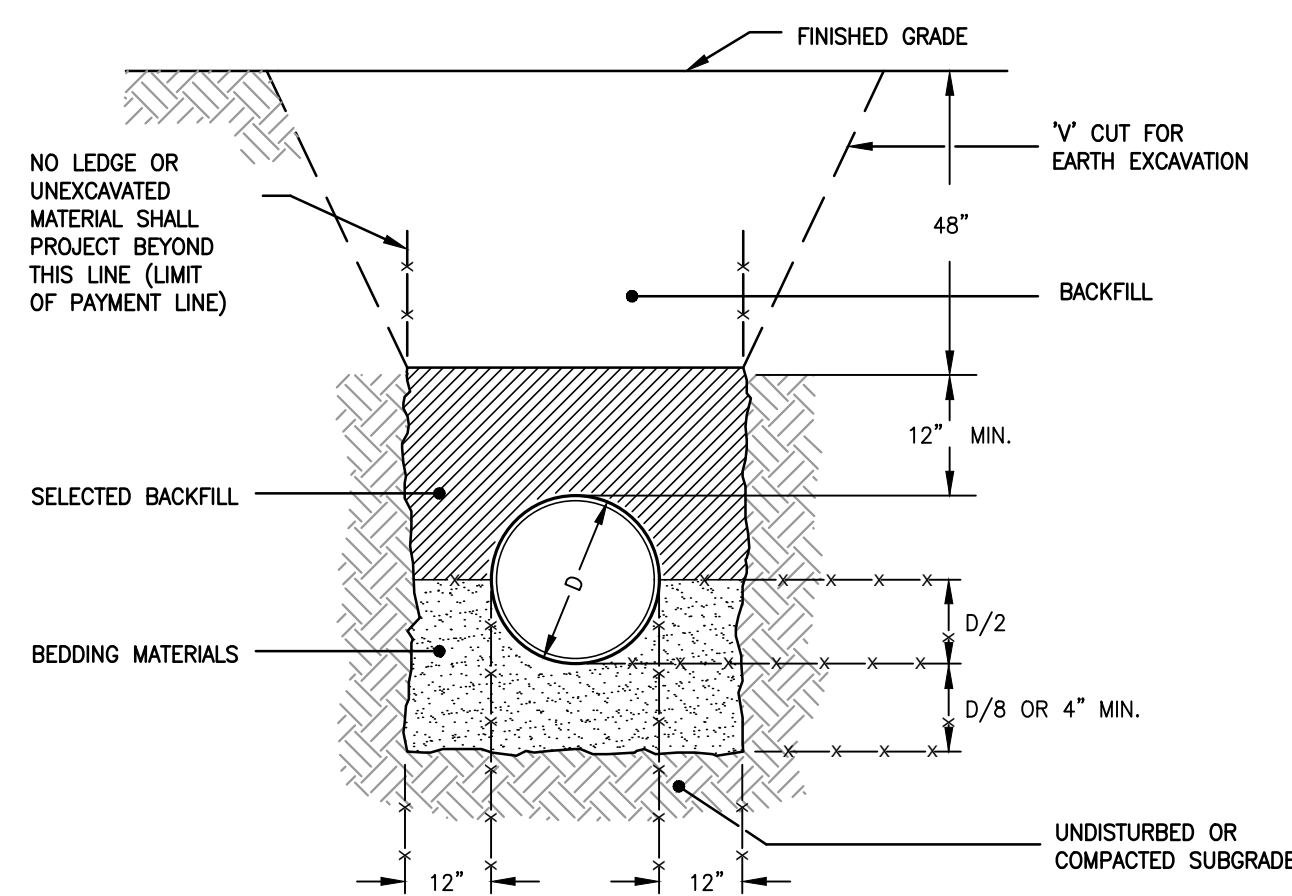
UTILE PROJECT NUMBER
Arlington, MA

**STORMWATER
MANAGEMENT
PLAN**

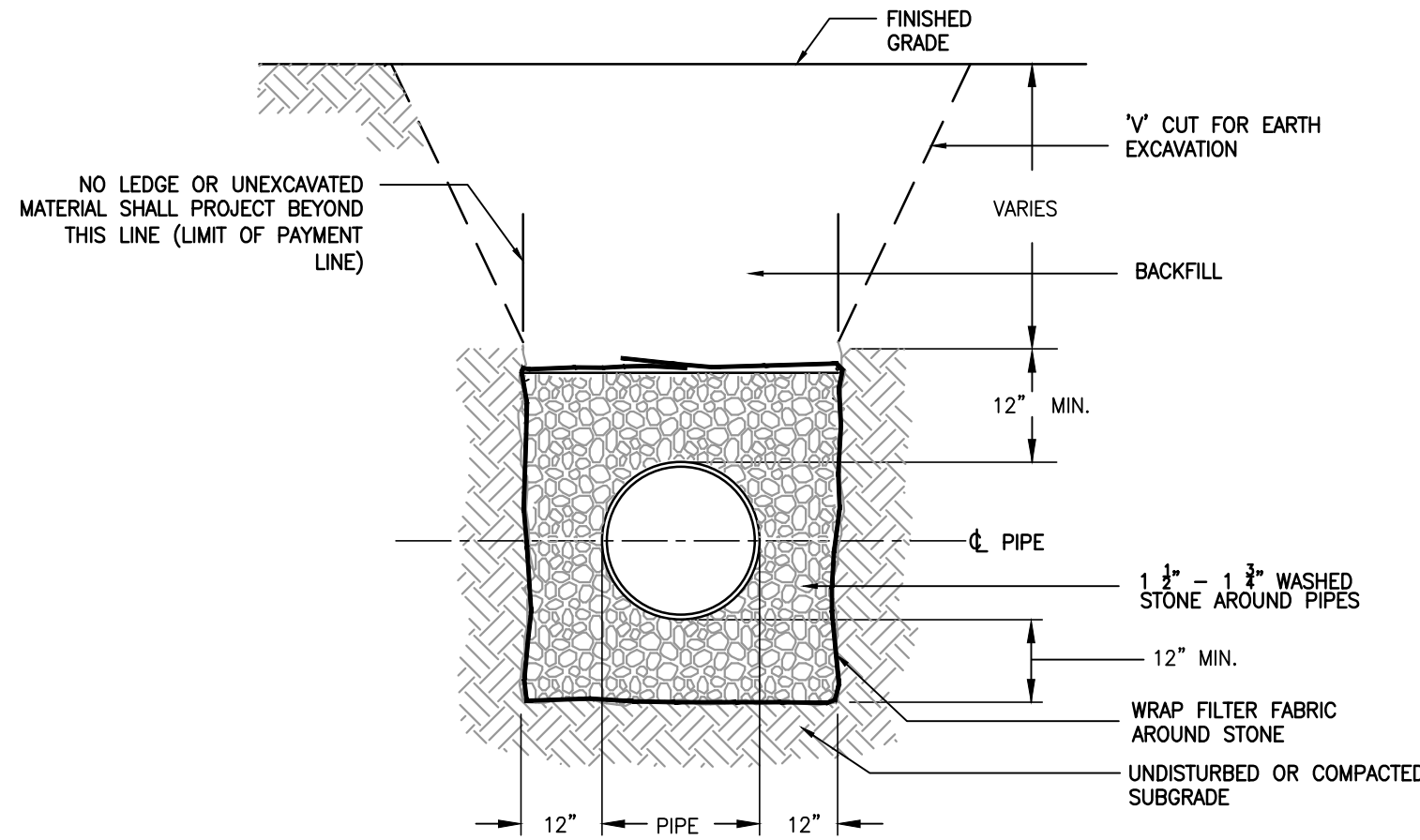
C5.00



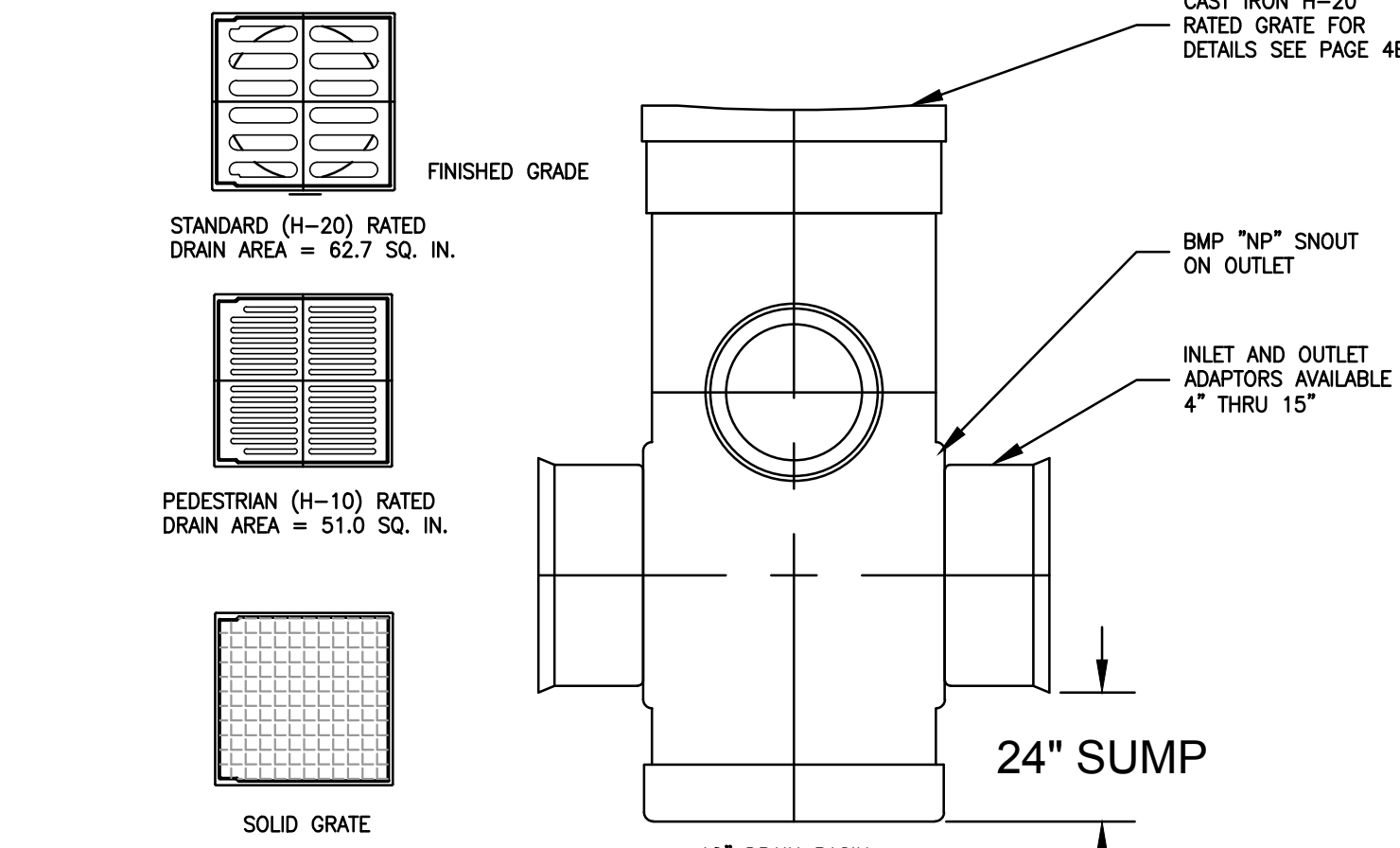
1 COMPOST FILTER SOCK
NTS



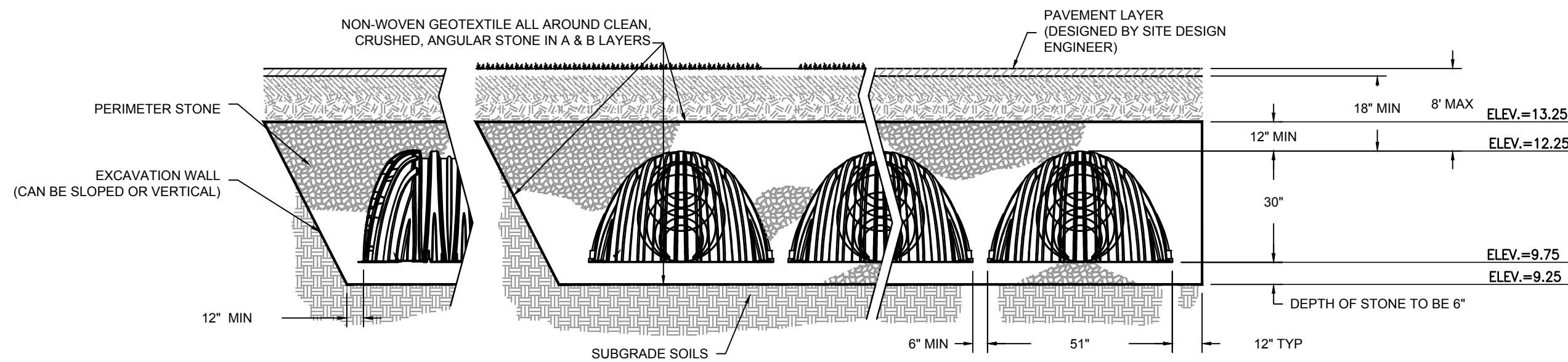
2 TRENCH SECTION - C.L.D.I. WATER PIPE
NTS



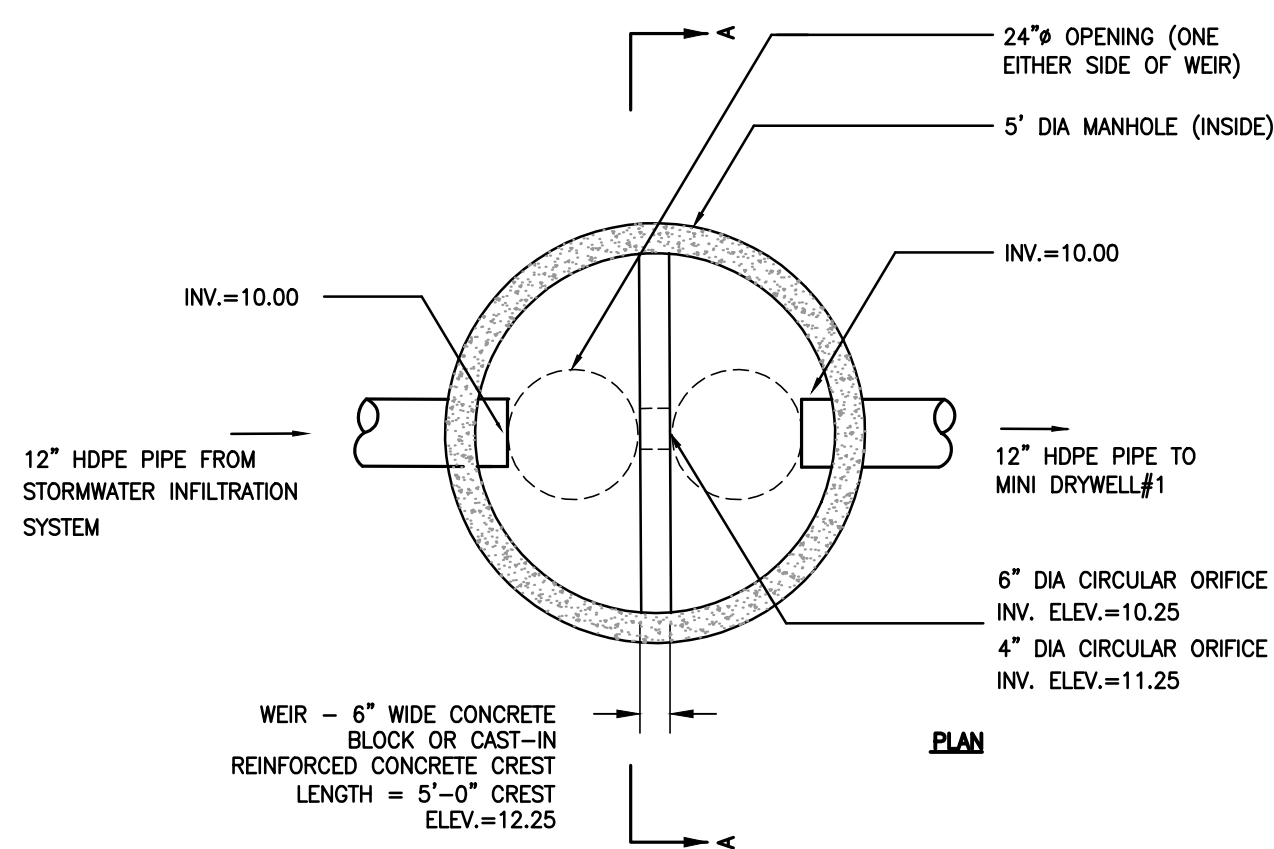
3 TRENCH SECTION - HDPE PIPE
NTS



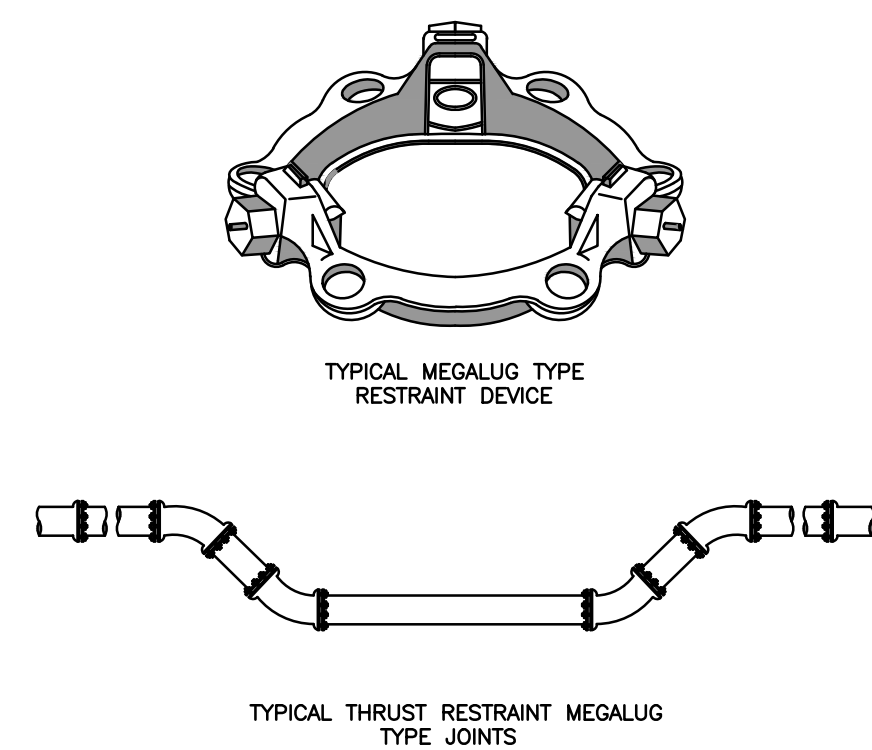
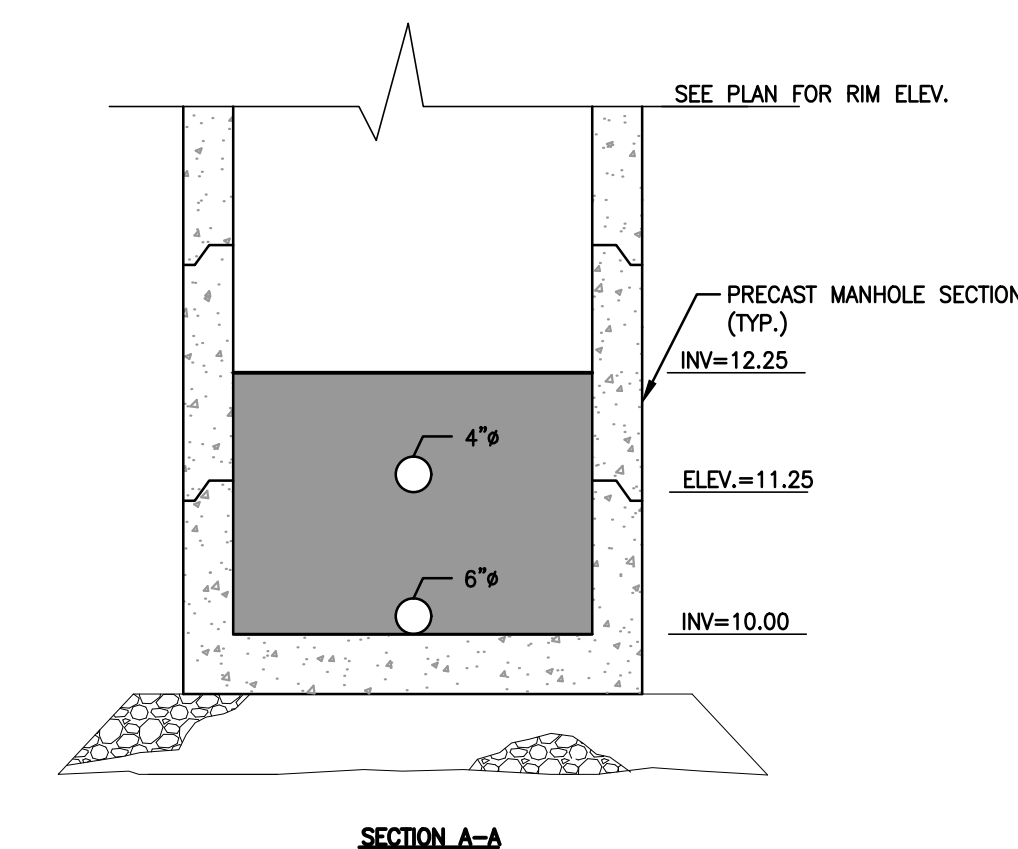
4 'NYLOPLAST' AREA DRAIN
NTS



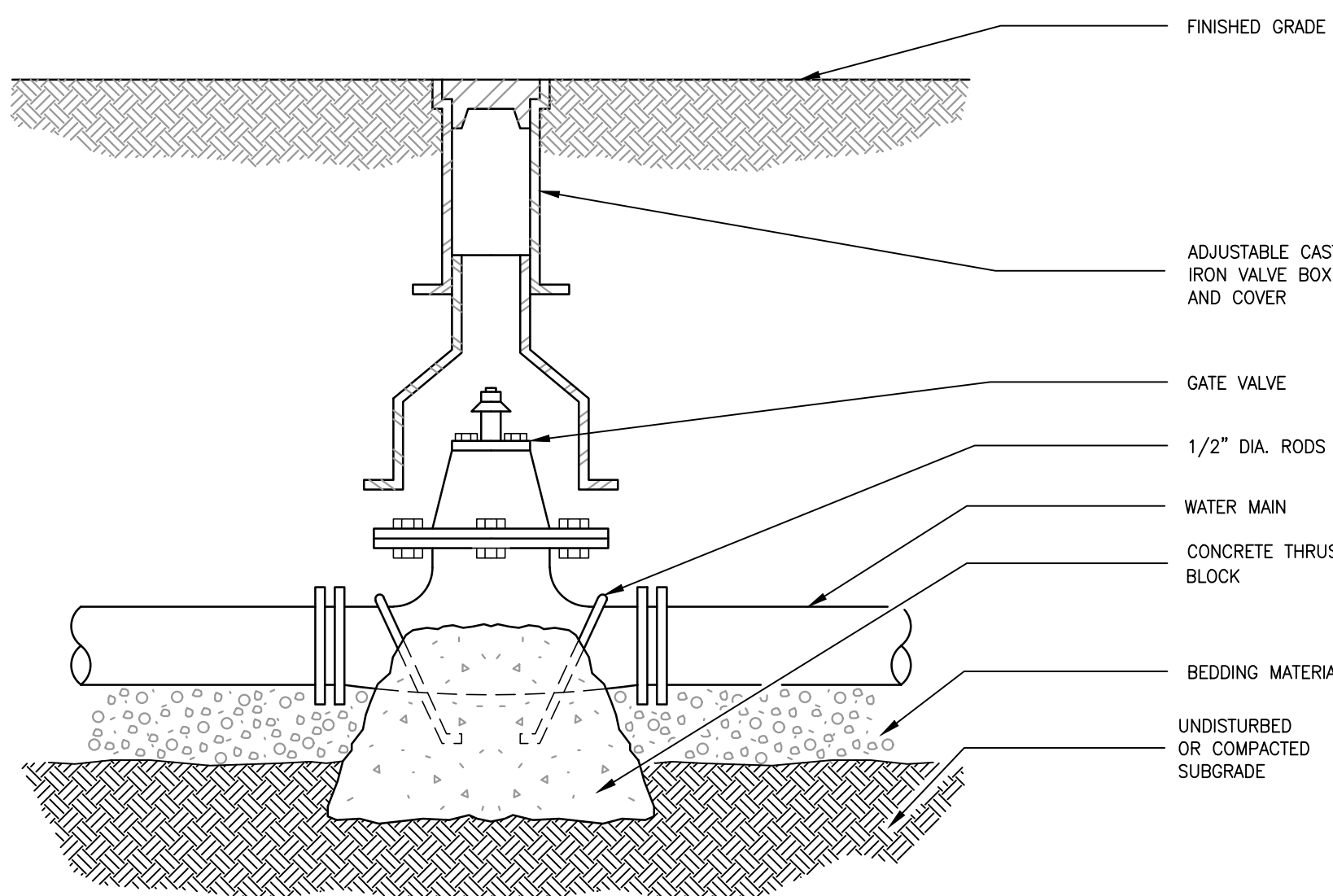
5 UNDERGROUND DRAINAGE SYSTEM
NTS



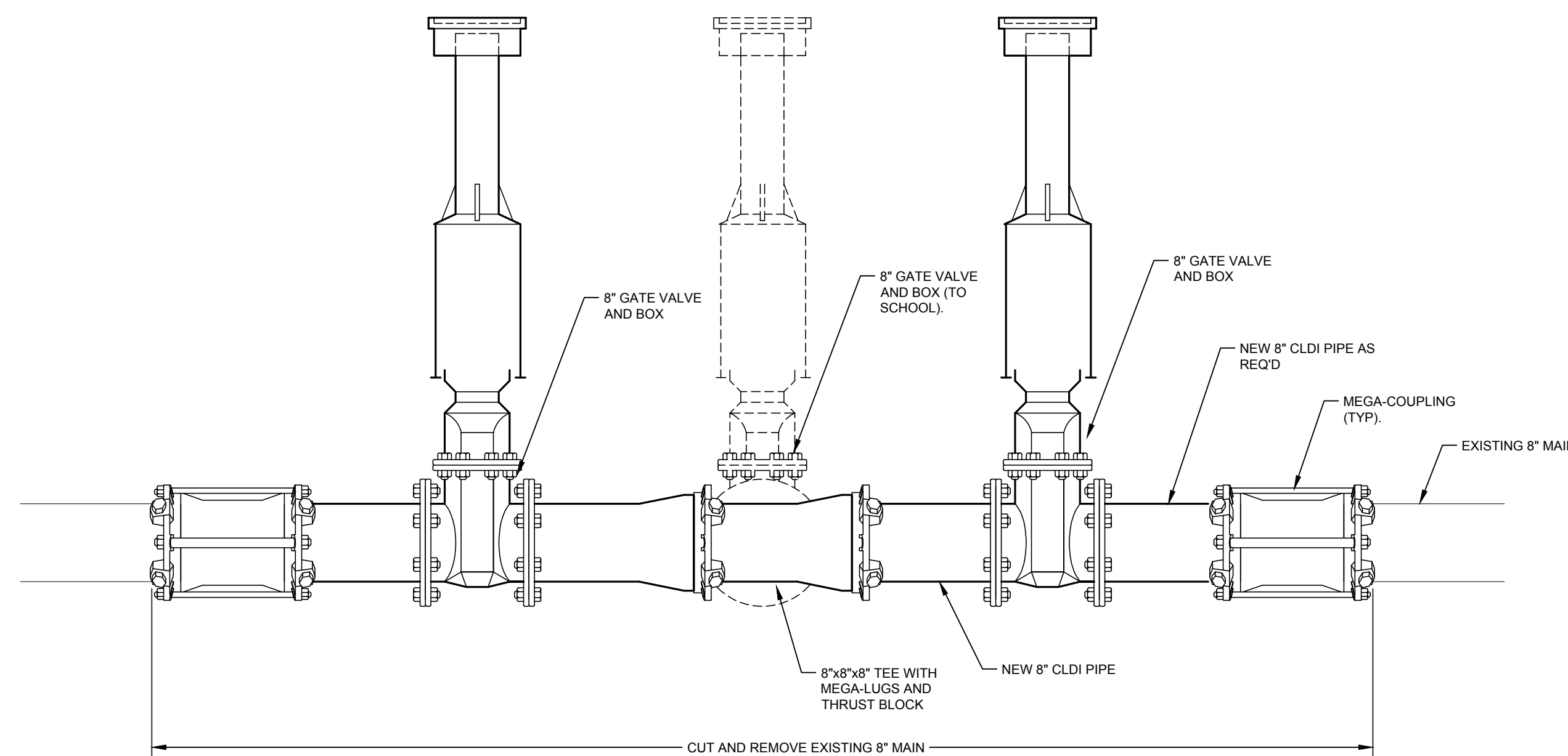
6 OUTLET CONTROL STRUCTURE (OCS-1)
NTS



7 MEGALUG DETAIL
NTS



8 GATE VALVE AND BOX
NTS



9 WATER MAIN CUT IN DETAIL (SECTION)
NTS

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMMINGHAM, MA 01701
P 508.877.6688

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.466.4301

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

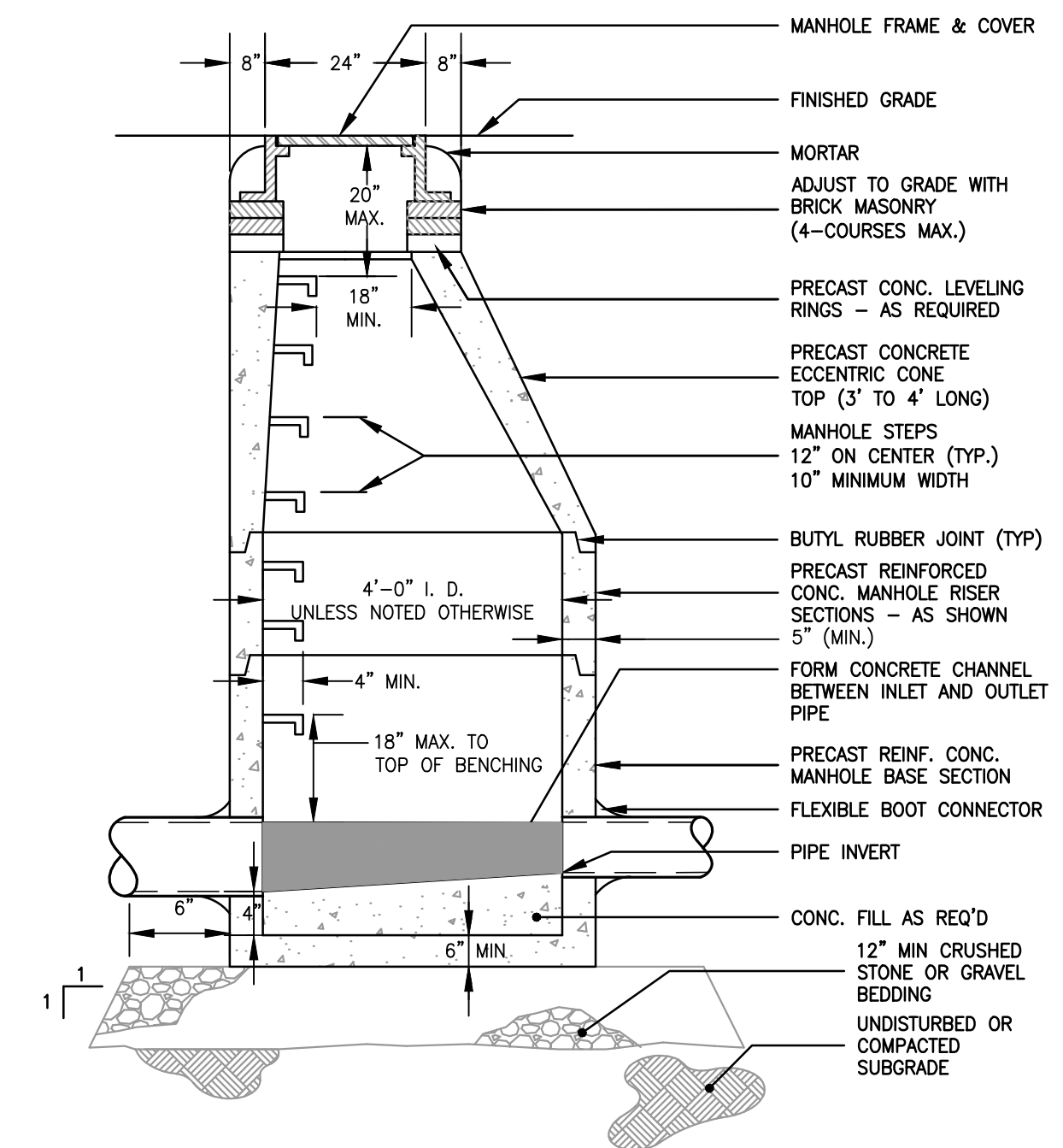
REVISIONS ON SHEET

SCALE
1" = 10'

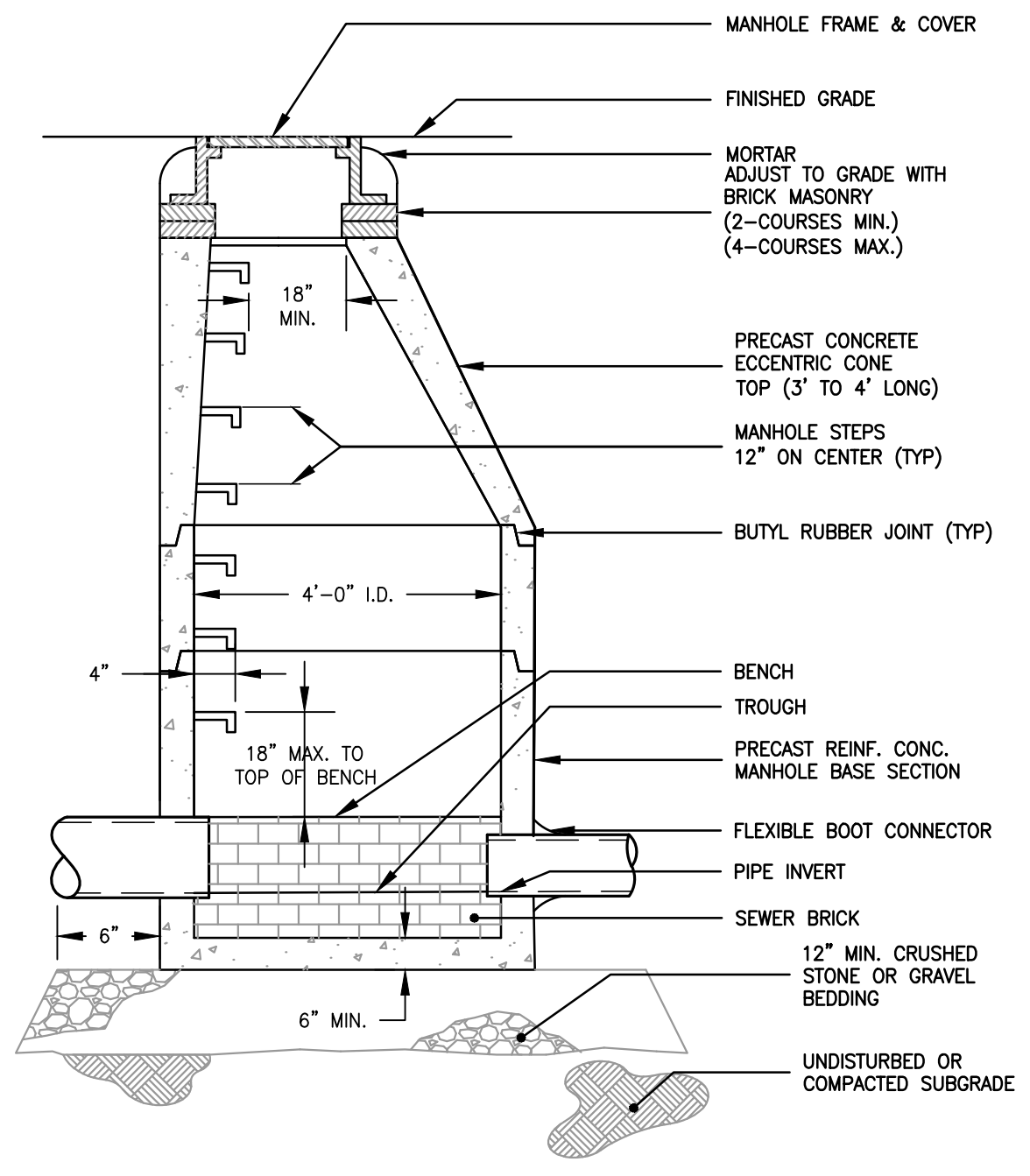
UTILE PROJECT NUMBER
Arlington, MA

CIVIL DETAILS

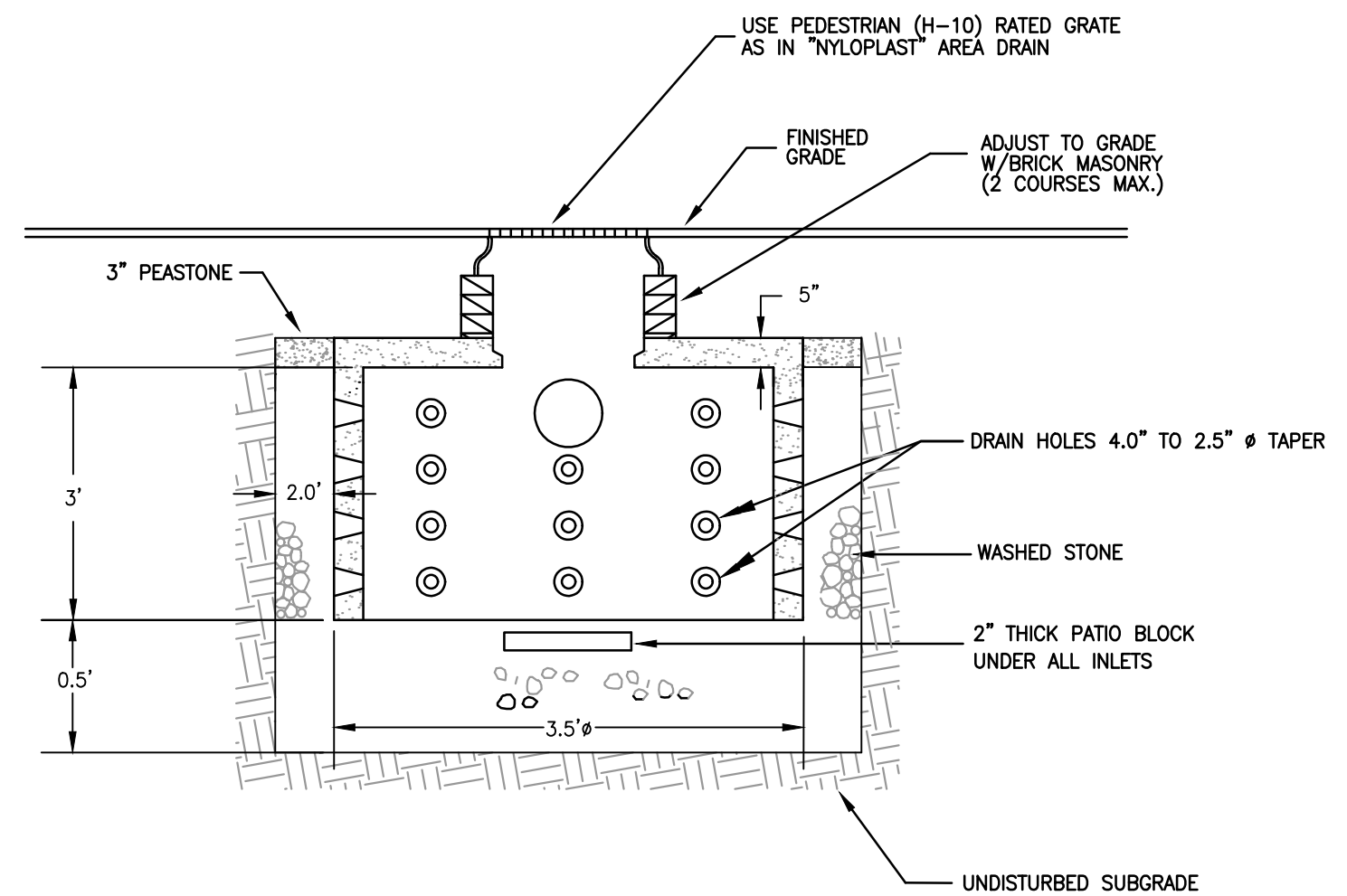
C6.00



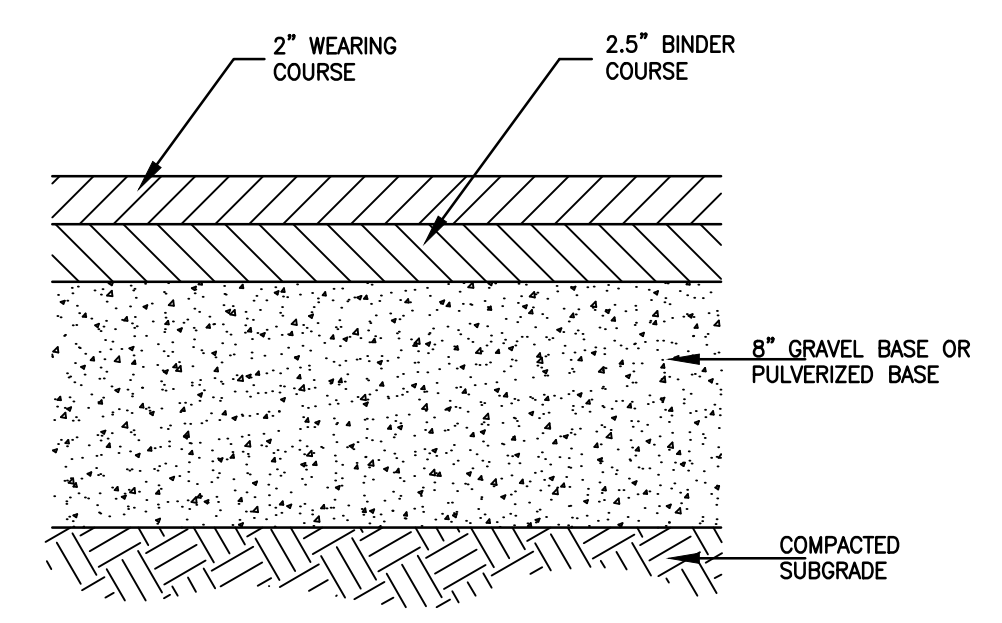
1 PRECAST STORM DRAIN MANHOLE
NTS



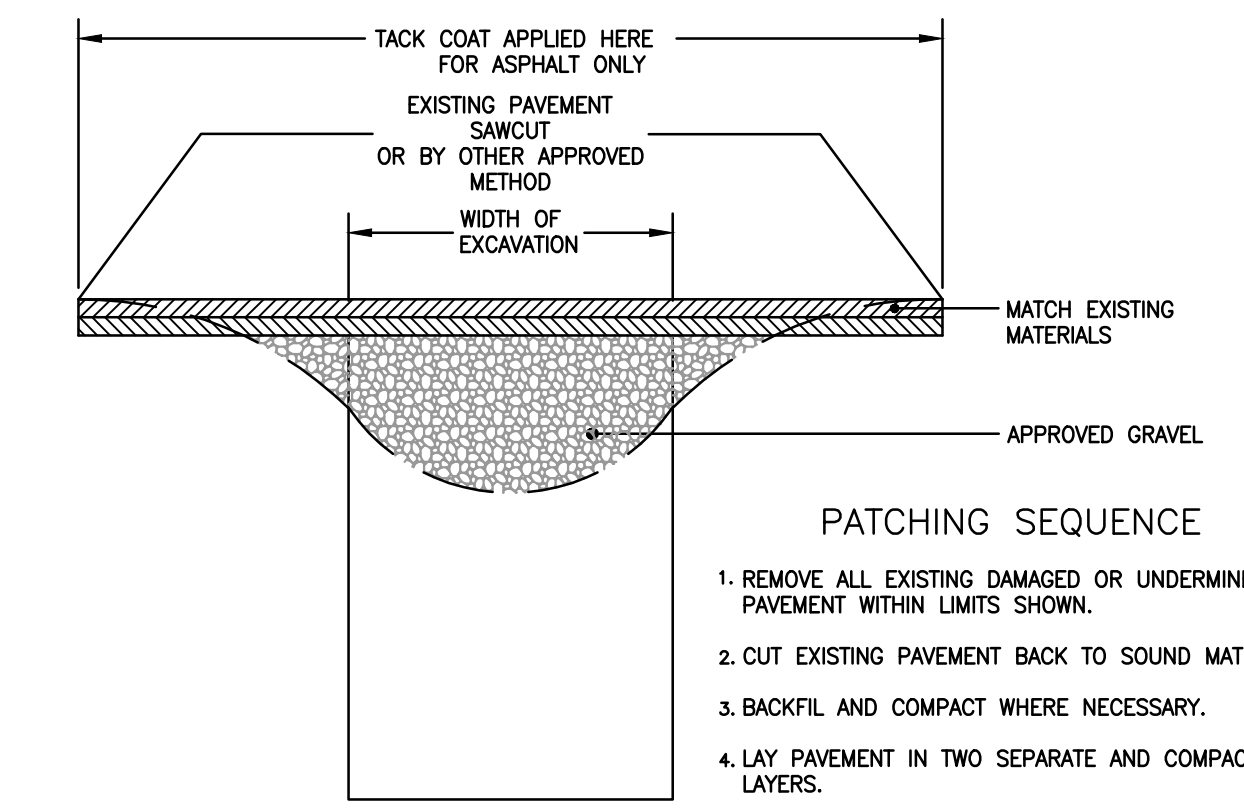
2 PRECAST SANITARY MANHOLE
NTS



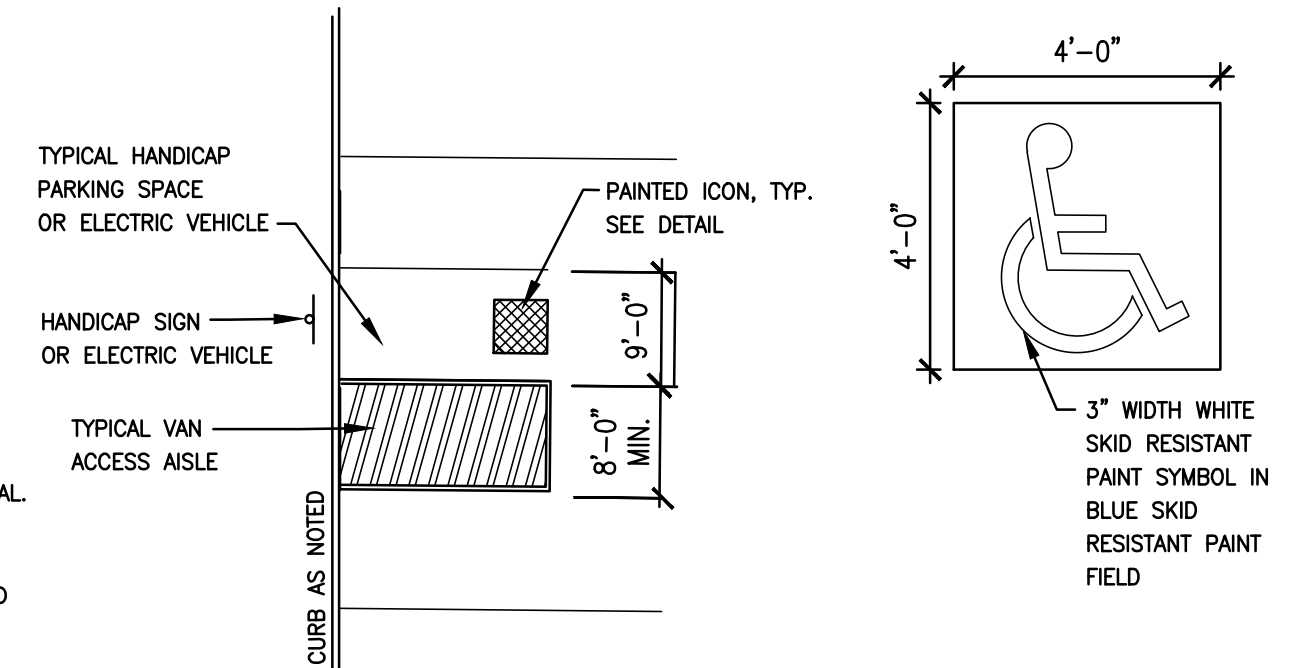
3 MINI-DRY WELL
NTS



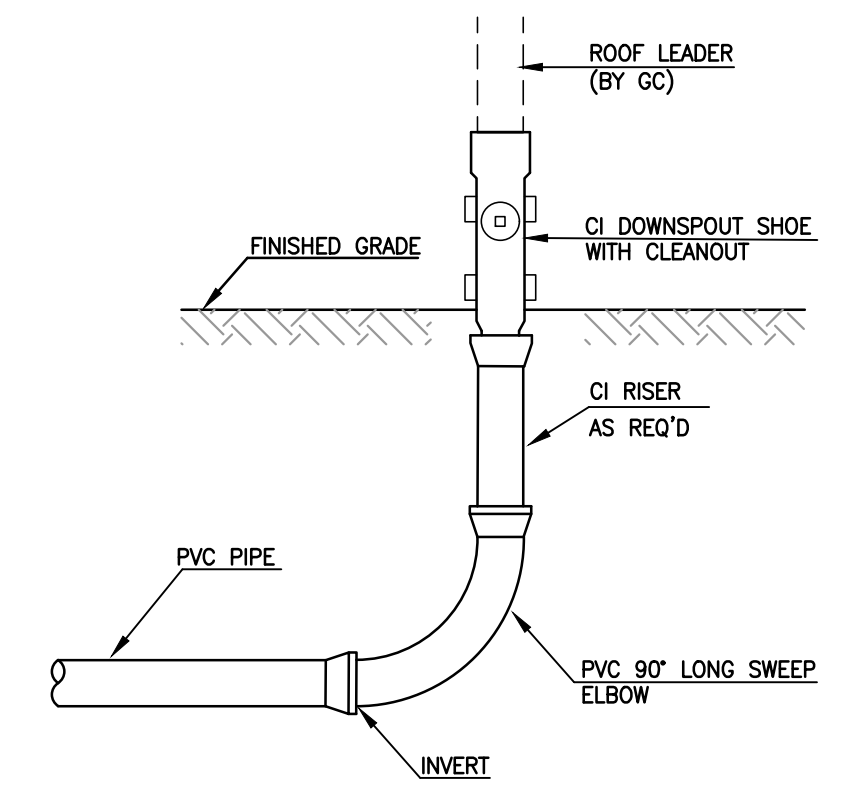
4 BITUMINOUS PAVEMENT
NTS



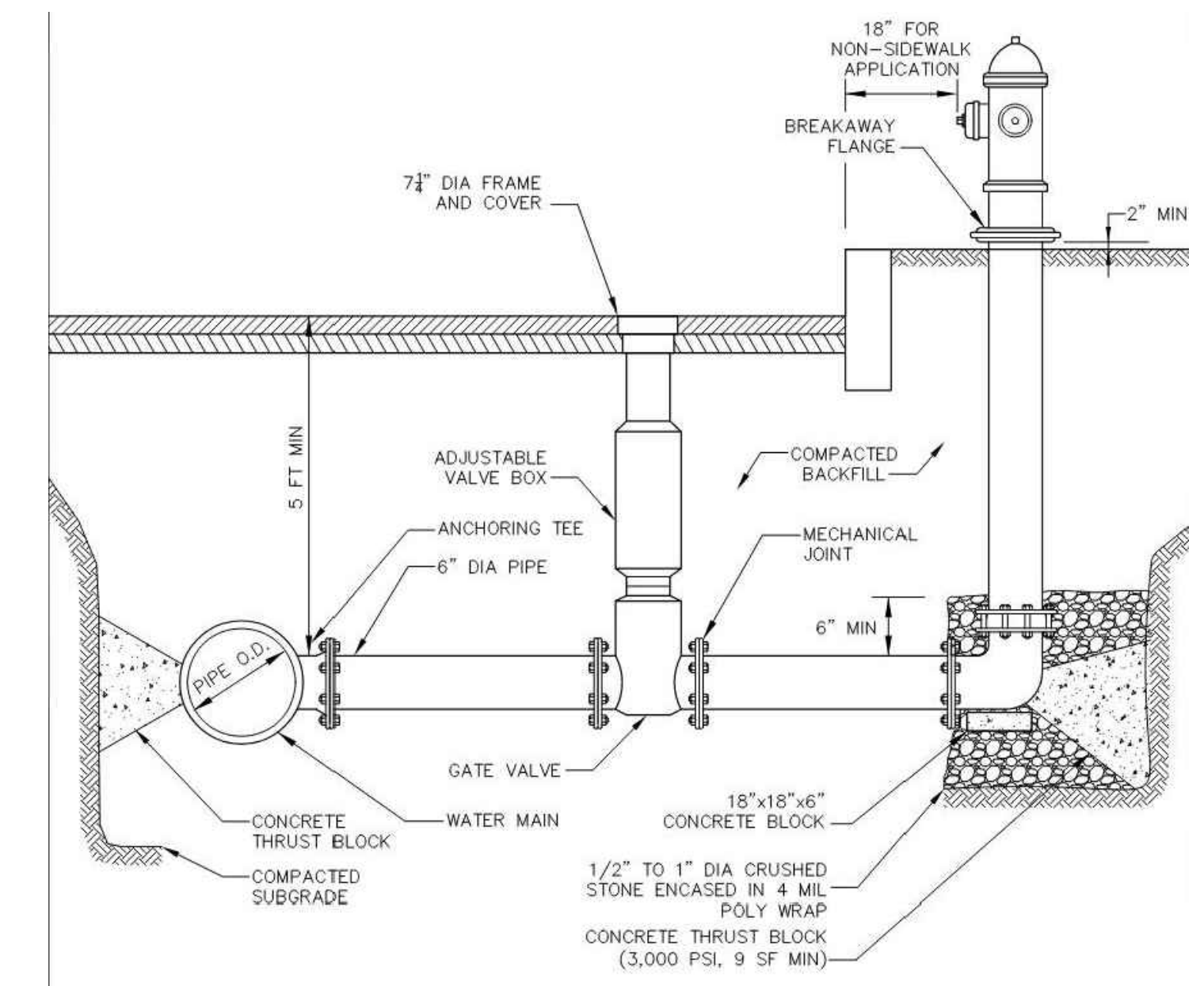
5 TRENCH PATCHING DETAIL
NTS



6 PAVEMENT MARKING DETAIL
NTS

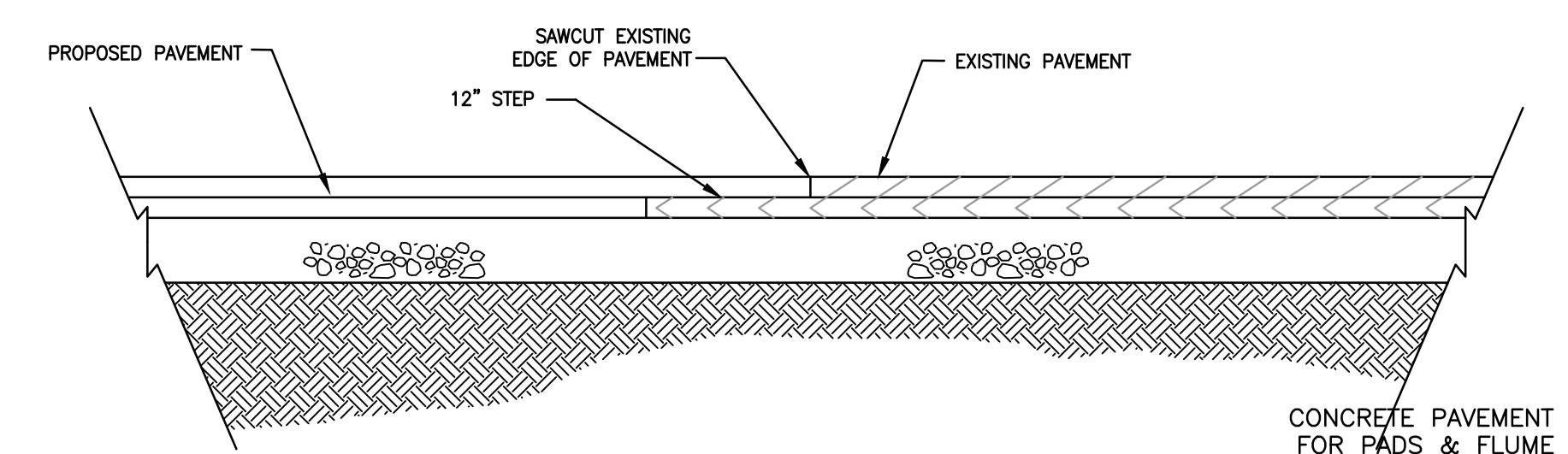


7 ROOF LEADER
NTS



NOTES:
1. INSTALLATIONS SHALL CONFORM TO TOWN OF ARLINGTON WATER REGULATIONS AND SPECIFICATIONS.
2. ENSURE HYDRANT DRAIN IS NOT BLOCKED.
3. PROVIDE 3 FT MINIMUM CLEAR WIDTH AT SIDEWALK.
4. HYDRANT AND GATE VALVES SHALL OPEN RIGHT.

8 HYDRANT
NTS



9 PAVEMENT PATCHING DETAIL
NTS

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

OWNER

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMMINGHAM, MA 01701
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

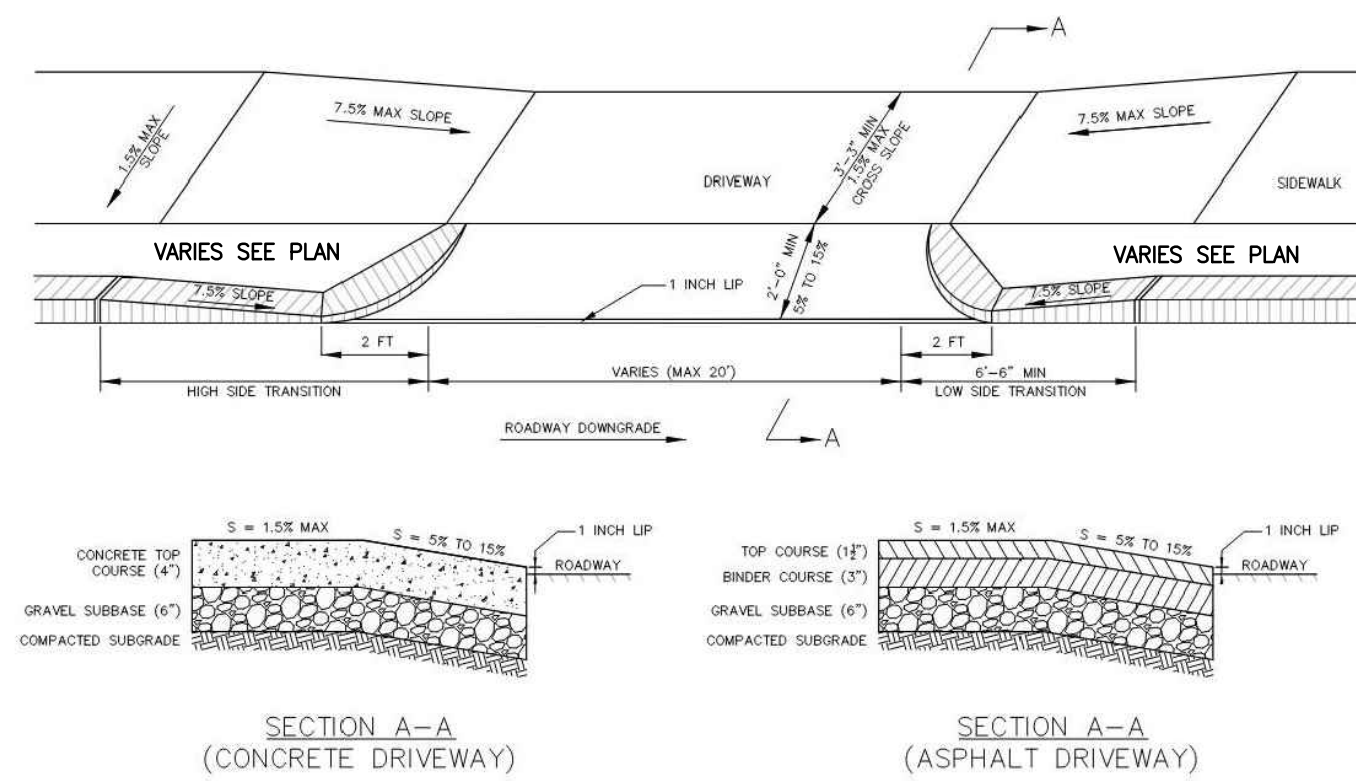
REVISIONS ON SHEET

SCALE
1" = 10'

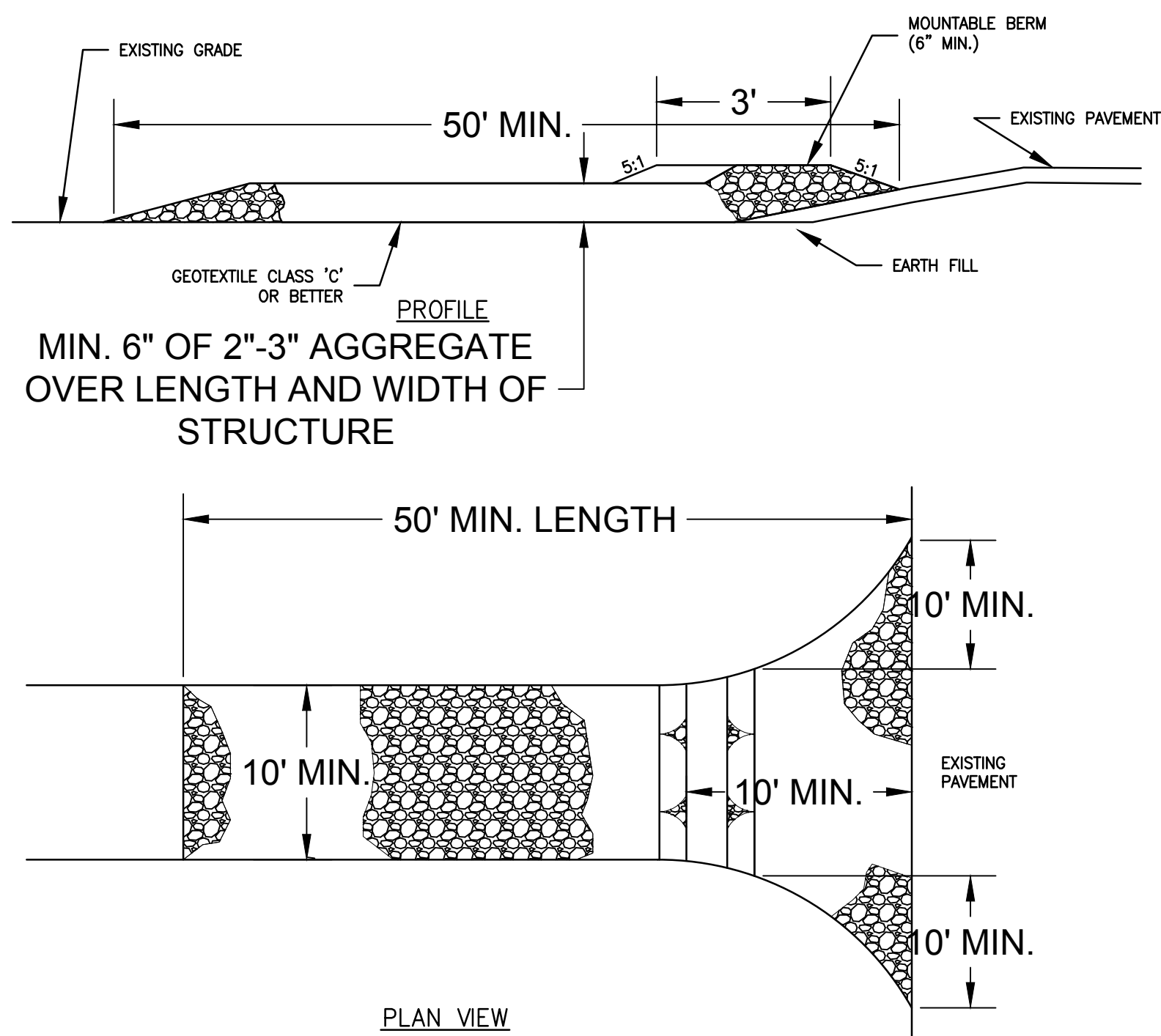
UTILITE PROJECT NUMBER
Arlington, MA

CIVIL DETAILS

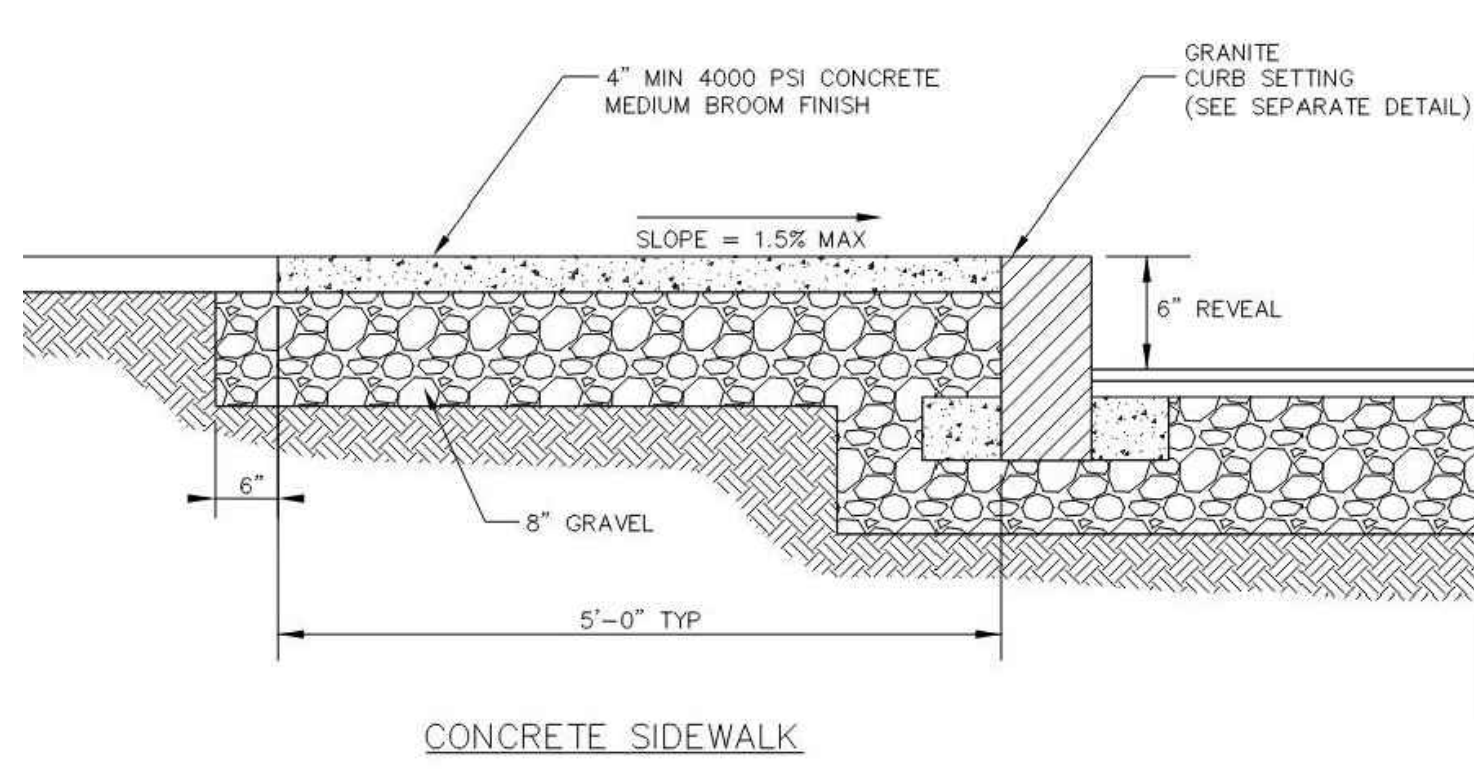
C6.01



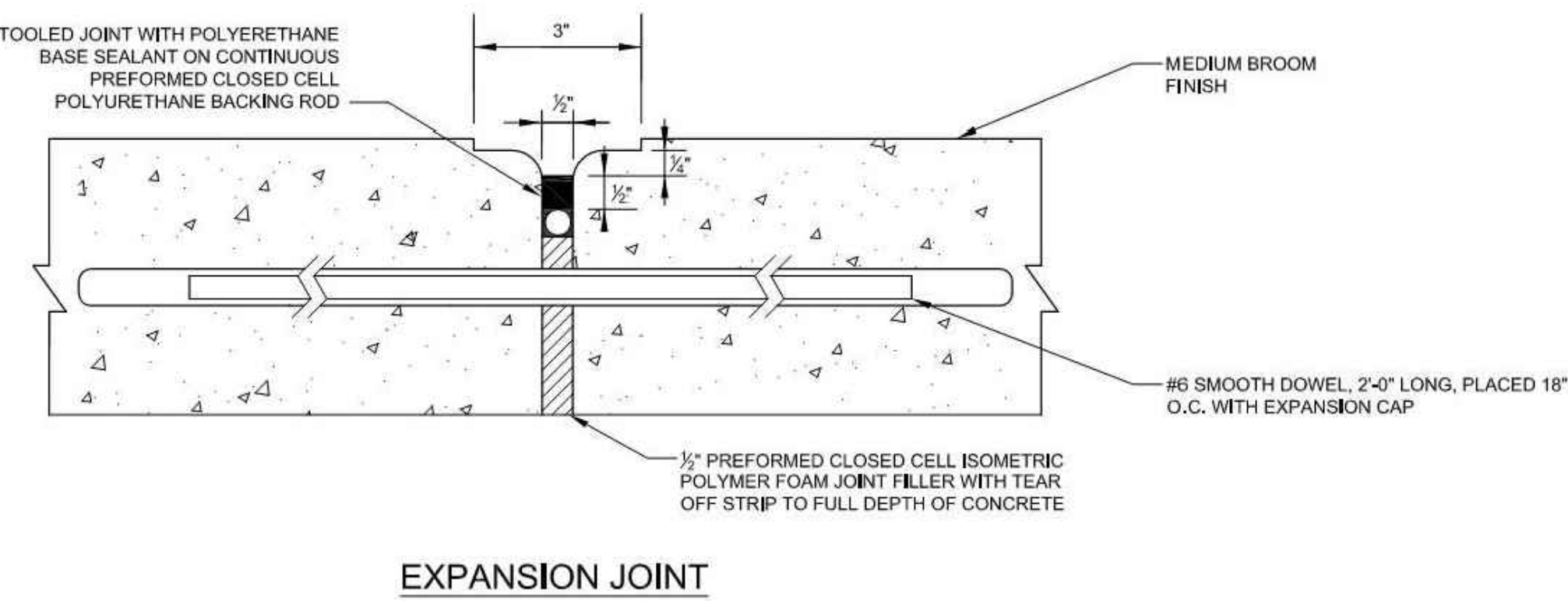
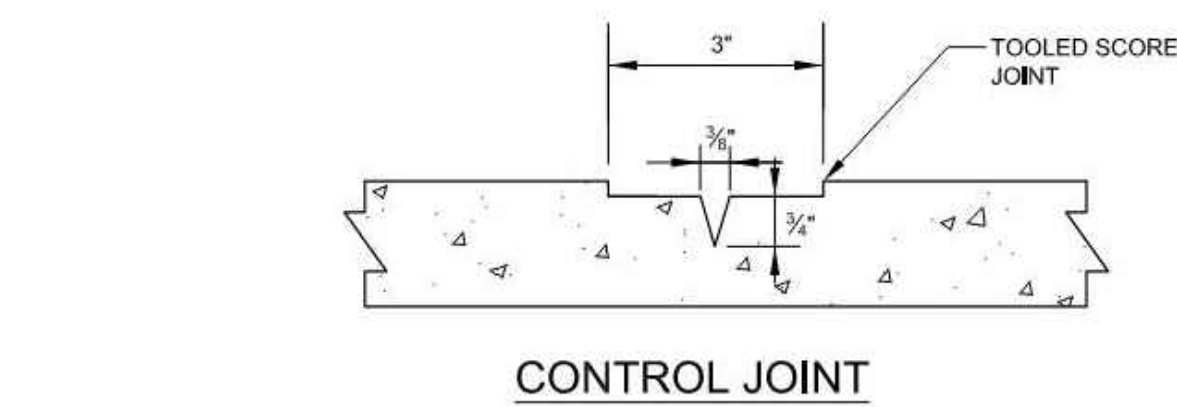
1 DRIVEWAY APRON (TOWN OF ARLINGTON STANDARD)



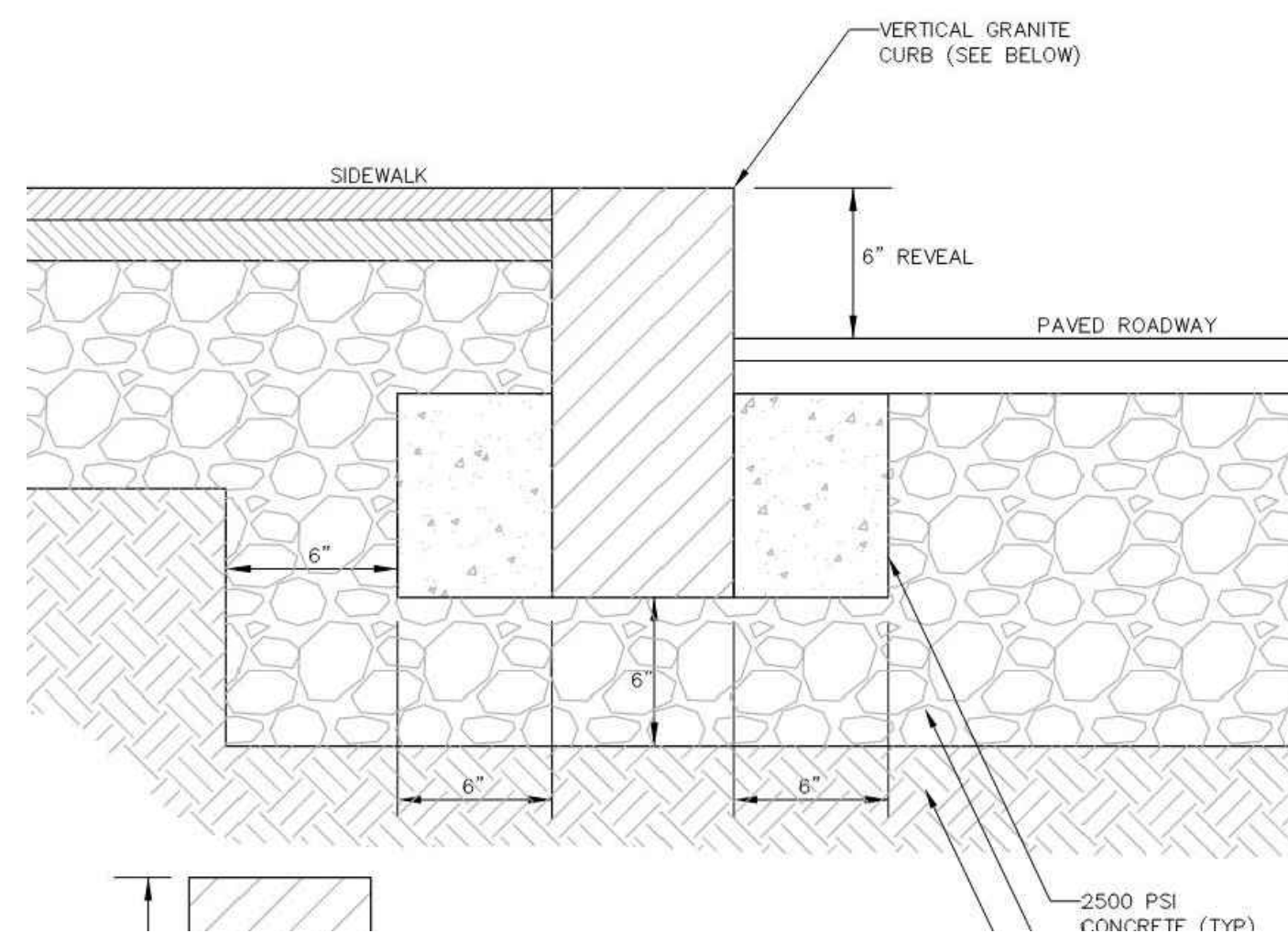
3 STABILIZED CONSTRUCTION ENTRANCE



2 CONCRETE SIDEWALK



4 CONCRETE SIDEWALK JOINTS



5 VERTICAL GRANITE CURB

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6688

BF&A
17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

BLW ENGINEERS
311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.466.4301

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE 1" = 10'
UTILITE PROJECT NUMBER
Arlington, MA

CIVIL DETAILS

C6.02



10 SUNNYSIDE
AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6666

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

DATE 03/09/2023
ISSUE / REVISION COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE 1/8" = 1'-0"
UTILITE PROJECT NUMBER 2244

FLOOR PLAN - FIRST FLOOR

A1.01



1 L2
1/8" = 1'-0"

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

OWNER

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6666

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/F/P

STAMP	
DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE 1/8" = 1'-0" UTILE PROJECT NUMBER 2244

FLOOR PLAN - SECOND FLOOR

A1.02



10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

ARCHITECT
SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6666

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

BLW ENGINEERS
311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE
1/8" = 1'-0"

UTILITE PROJECT NUMBER
2244

FLOOR PLAN - THIRD &
FOURTH FLOORS

A1.03

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

OWNER

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6688

CIVIL

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

<u>DATE</u>	<u>ISSUE / REVISION</u>
03/09/2023	COMPREHENSIVE PERMIT

SCALE UTILE PROJECT NUMBER
1/8" = 1'-0" 2244

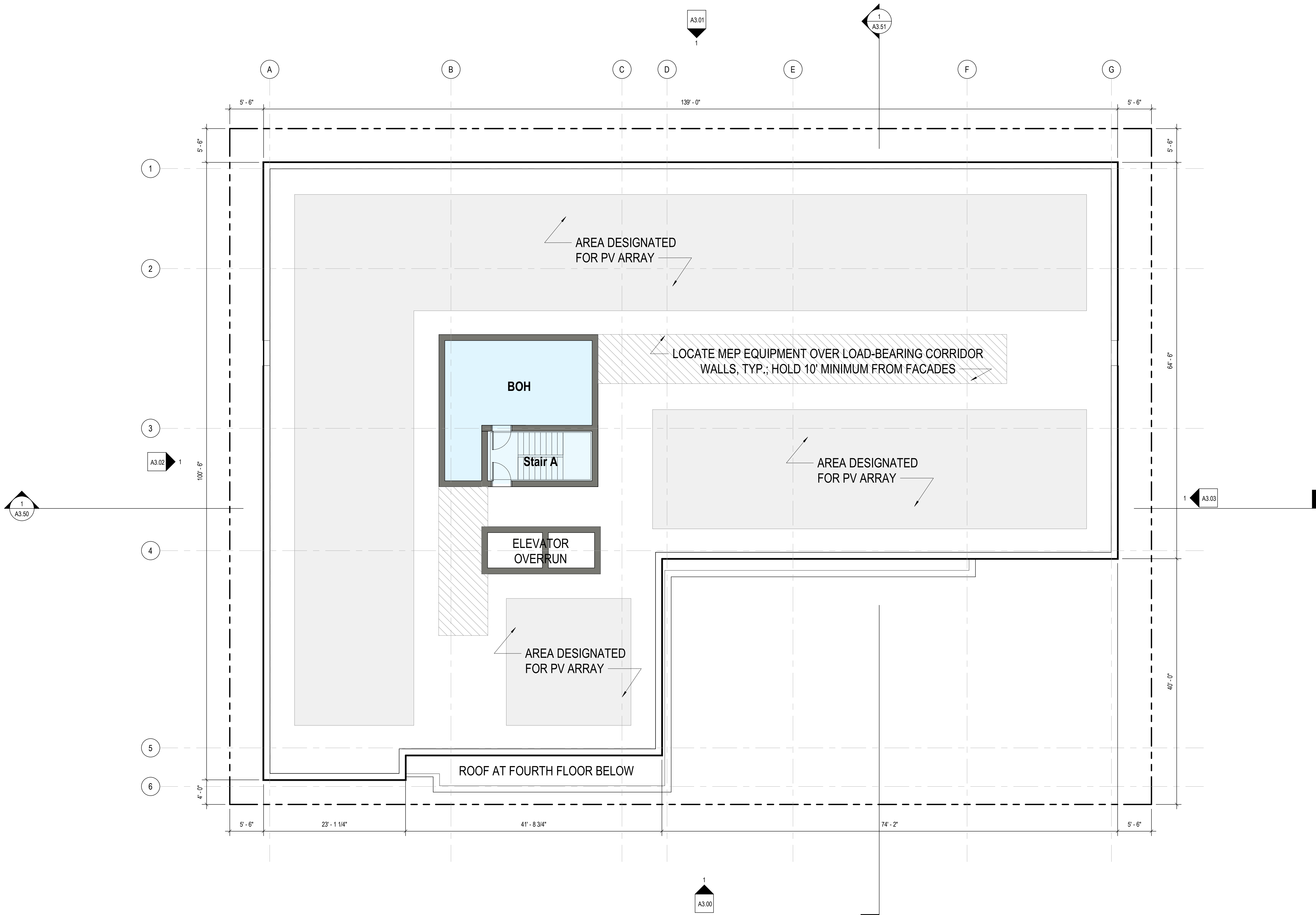
A1.05

3/9/2023 11:11:52 AM



1 $\frac{L5}{1/8" = 1'-0"$

1 ROOF
1/8" = 1'-0"



10 SUNNYSIDE
AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000.000.0000

OWNER

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617.423.7200 F 617.423.1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6686

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE 1/8" = 1'-0"	UTILITE PROJECT NUMBER 2244
-----------------------	--------------------------------

FLOOR PLAN - ROOF

A1.07



- ELEVATION NOTES
- 1 4" PTD. FIBER CEMENT PLANK SIDING, VERTICAL
 - 2 6" PTD. FIBER CEMENT PLANK SIDING, HORIZONTAL
 - 3 PTD. FIBER CEMENT PANEL
 - 4A BRICK RUNNING BOND
 - 4B METAL SCREEN
 - 4C BRICK TEXTURED PATTERN
 - 5 OVERHEAD COILING DOOR TO MATCH ADJACENT METAL SCREEN
 - 6 METAL SCREEN RAILING
 - 7 CONCRETE RETAINING WALL
- A HIGH PERFORMANCE TRIPLE GLAZED UPVC WINDOWS
- B THERMALLY BROKEN ALUMINUM FRAME STOREFRONT SYSTEM
- C EXTERIOR HOLLOW METAL SERVICE DOOR

1 EAST ELEVATION (SUNNYSIDE AVE)

1/8" = 1'-0"

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

OWNER

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6686

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

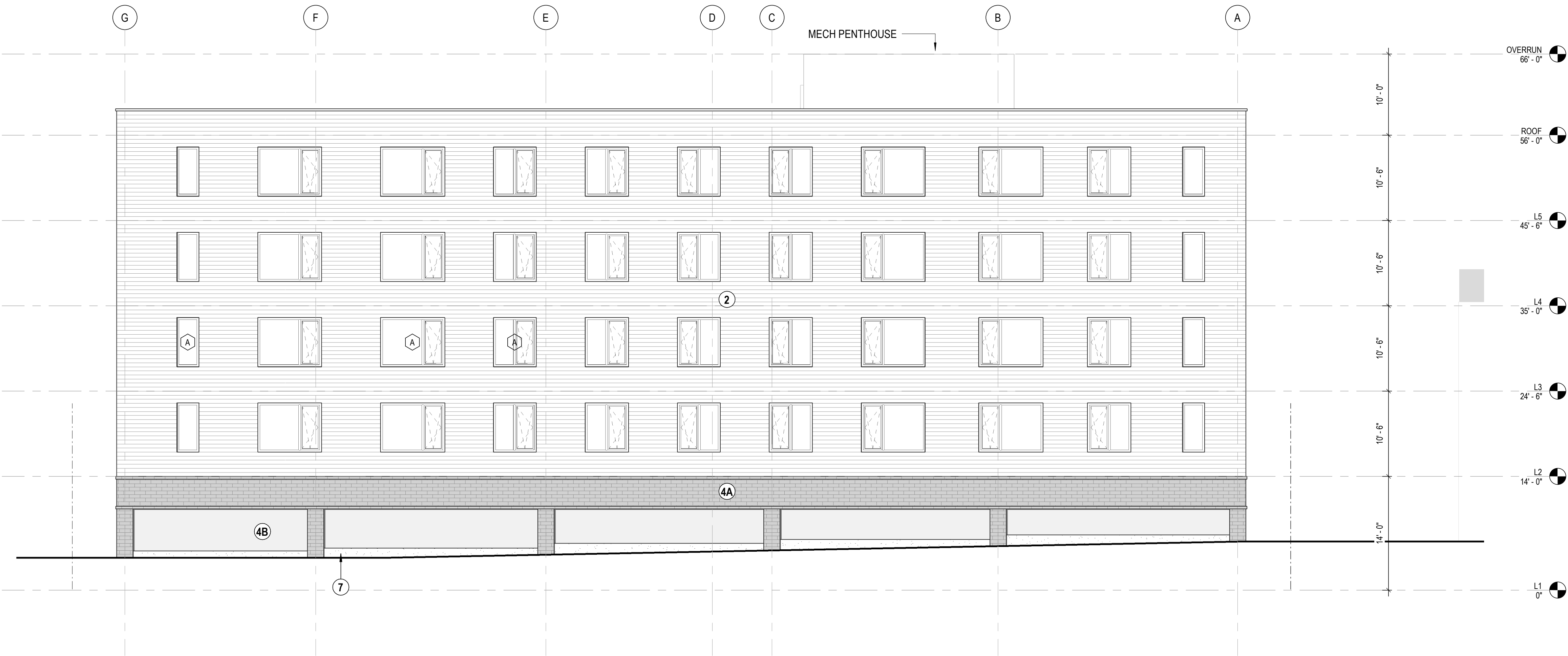
REVISIONS ON SHEET

SCALE
1/8" = 1'-0"

UTILE PROJECT NUMBER
2244

EXTERIOR ELEVATION - EAST
(SUNNYSIDE AVE)

A3.00



- ELEVATION NOTES
- 1 4" PTD. FIBER CEMENT PLANK SIDING, VERTICAL
 - 2 6" PTD. FIBER CEMENT PLANK SIDING, HORIZONTAL
 - 3 PTD. FIBER CEMENT PANEL
 - 4A BRICK RUNNING BOND
 - 4B METAL SCREEN
 - 4C BRICK TEXTURED PATTERN
 - 5 OVERHEAD COILING DOOR TO MATCH ADJACENT METAL SCREEN
 - 6 METAL SCREEN RAILING
 - 7 CONCRETE RETAINING WALL
 - A HIGH PERFORMANCE TRIPLE GLAZED UPVC WINDOWS
 - B THERMALLY BROKEN ALUMINUM FRAME STOREFRONT SYSTEM
 - C EXTERIOR HOLLOW METAL SERVICE DOOR

1 WEST ELEVATION (REAR)
1/8" = 1'-0"

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

OWNER

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6686

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

STAMP	
DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE	UTILE PROJECT NUMBER
1/8" = 1'-0"	2244

EXTERIOR ELEVATION - WEST (REAR)

A3.01



1 SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

- 1 4" PTD. FIBER CEMENT PLANK SIDING, VERTICAL
- 2 6" PTD. FIBER CEMENT PLANK SIDING, HORIZONTAL
- 3 PTD. FIBER CEMENT PANEL
- 4A BRICK RUNNING BOND
- 4B METAL SCREEN
- 4C BRICK TEXTURED PATTERN
- 5 OVERHEAD COILING DOOR TO MATCH ADJACENT METAL SCREEN
- 6 METAL SCREEN RAILING
- 7 CONCRETE RETAINING WALL
- A HIGH PERFORMANCE TRIPLE GLAZED UPVC WINDOWS
- B THERMALLY BROKEN ALUMINUM FRAME STOREFRONT SYSTEM
- C EXTERIOR HOLLOW METAL SERVICE DOOR

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6686

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

DATE ISSUE / REVISION

03/09/2023 COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE

1/8" = 1'-0"

UTILE PROJECT NUMBER

2244

EXTERIOR ELEVATION -
SOUTH

A3.02

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

OWNER

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6686

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE 1/8" = 1'-0"	UTILE PROJECT NUMBER 2244
-----------------------	------------------------------

EXTERIOR ELEVATION -
NORTH

A3.03

ELEVATION NOTES

- ① 4" PTD. FIBER CEMENT PLANK SIDING, VERTICAL
- ② 6" PTD. FIBER CEMENT PLANK SIDING, HORIZONTAL
- ③ PTD. FIBER CEMENT PANEL
- ④A BRICK RUNNING BOND
- ④B METAL SCREEN
- ④C BRICK TEXTURED PATTERN
- ⑤ OVERHEAD COILING DOOR TO MATCH ADJACENT METAL SCREEN
- ⑥ METAL SCREEN RAILING
- ⑦ CONCRETE RETAINING WALL

① HIGH PERFORMANCE TRIPLE GLAZED UPVC WINDOWS

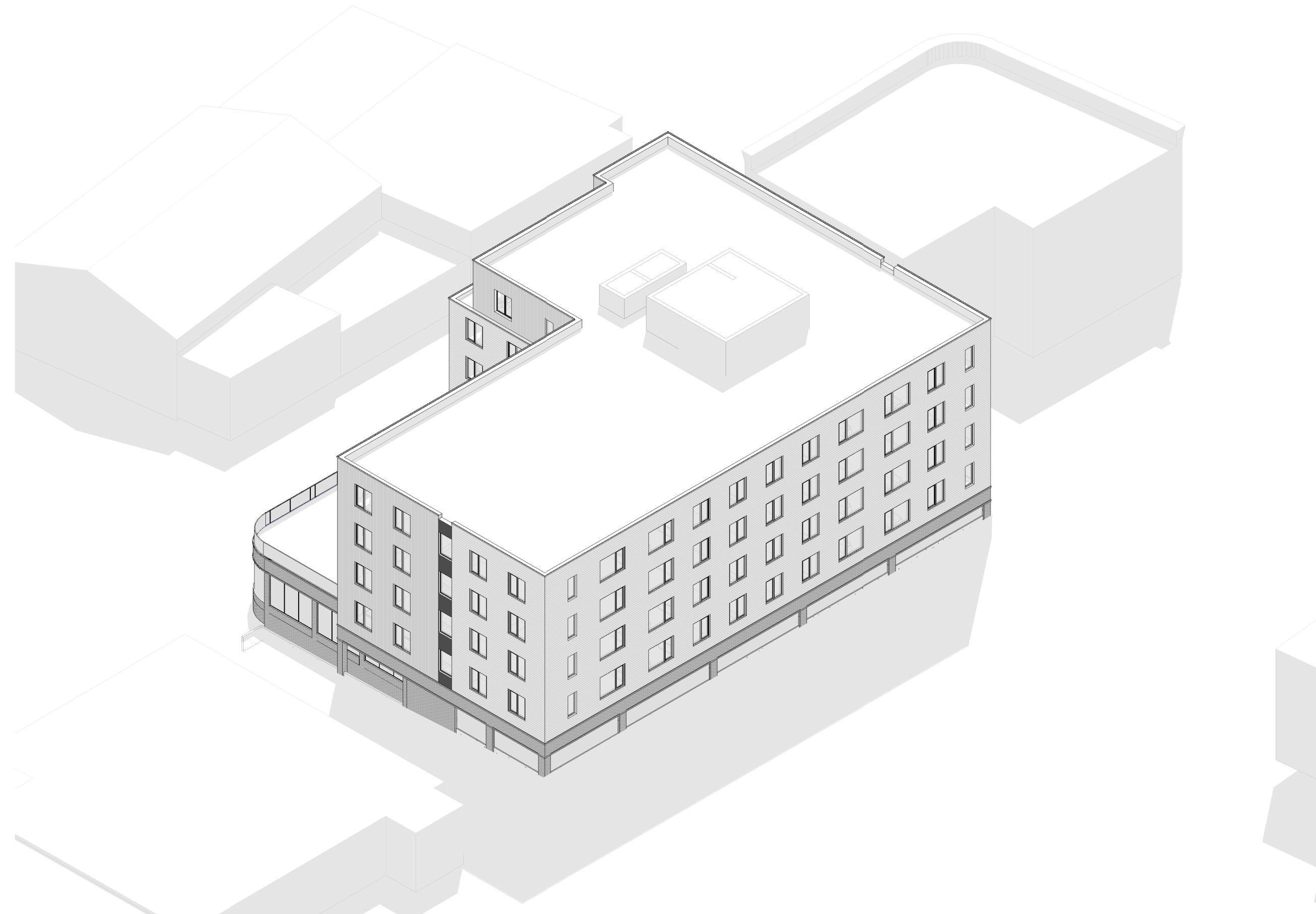
② THERMALLY BROKEN ALUMINUM FRAME STOREFRONT SYSTEM

③ EXTERIOR HOLLOW METAL SERVICE DOOR

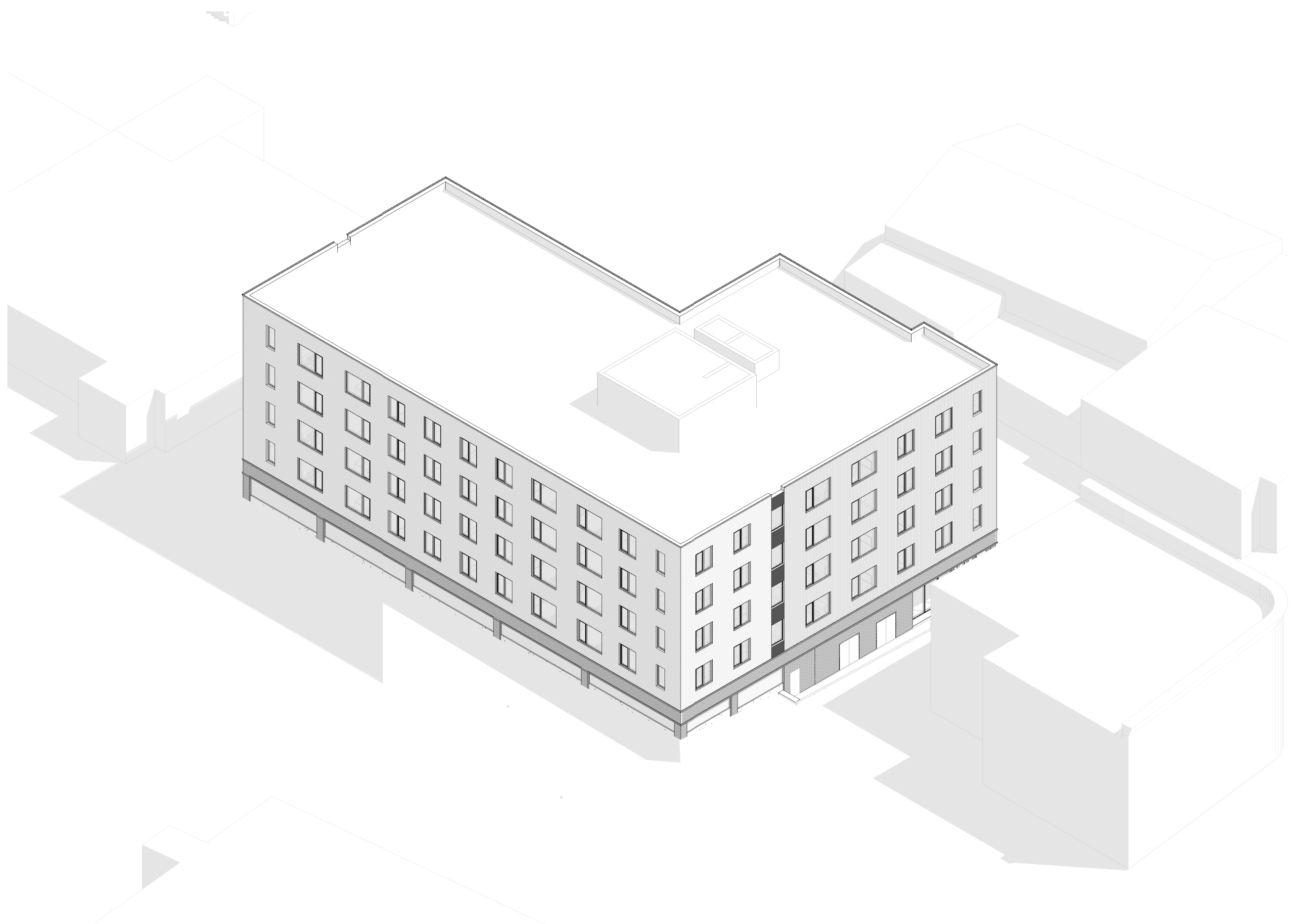




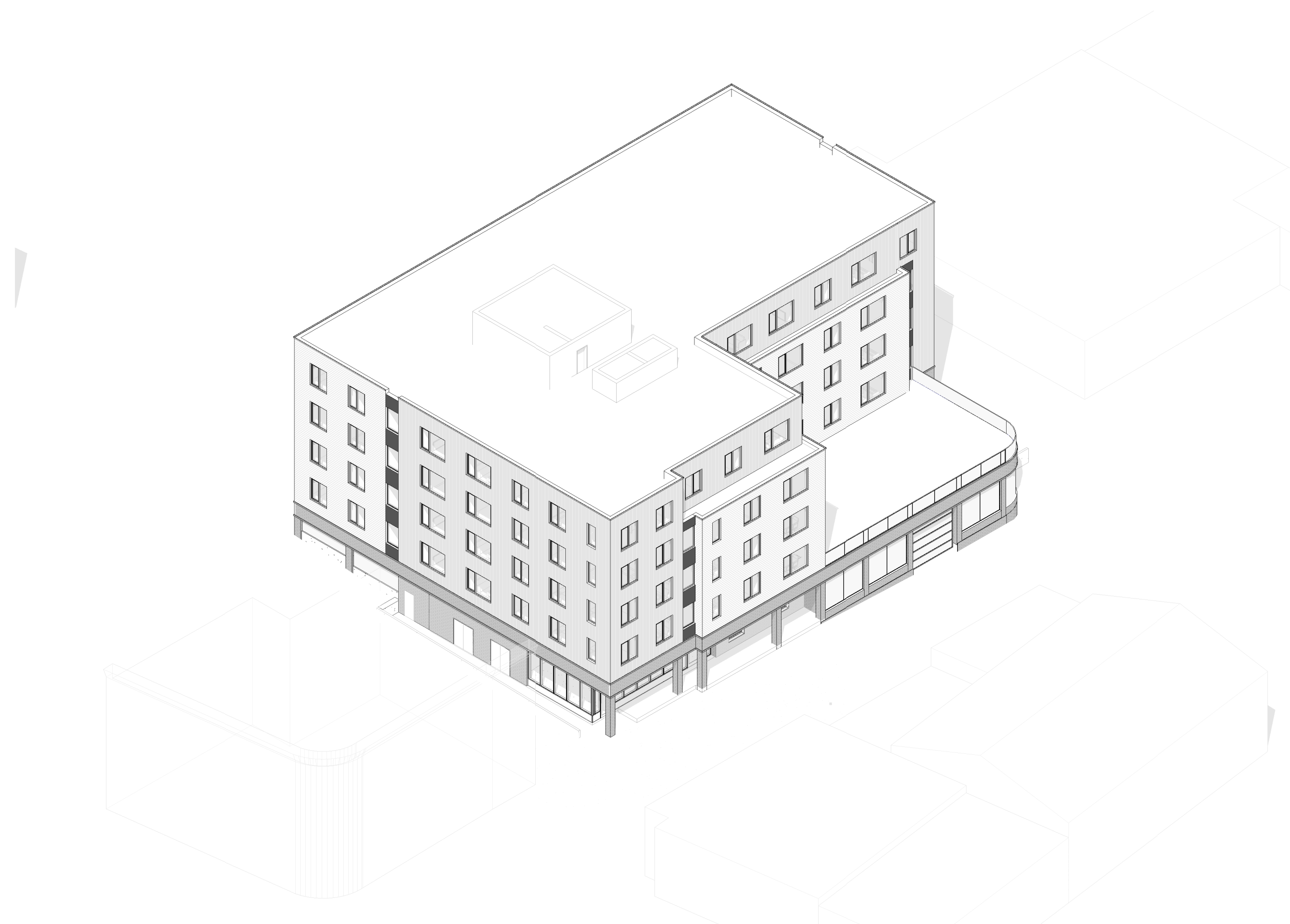
4 East Axon



3 North Axon



2 West Axon



1 South Axon

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000 0000

OWNER

utile
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1561
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

STAMP	
DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

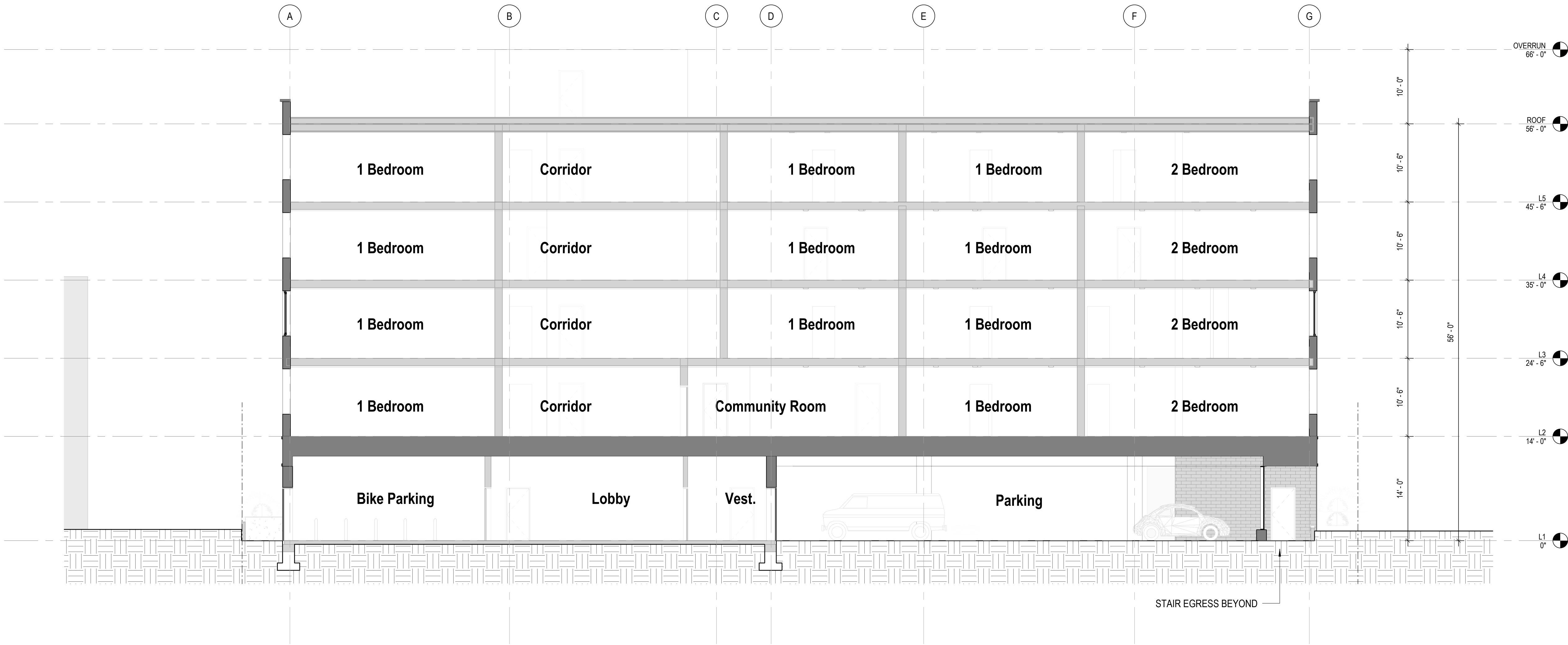
REVISIONS ON SHEET

SCALE

UTILE PROJECT NUMBER
2244

BUILDING AXONS

A3.10



1 SECTION (EAST-WEST)
1/8" = 1'-0"

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

OWNER

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6688

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

STAMP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE
1/8" = 1'-0"

UTILE PROJECT NUMBER
2244

BUILDING SECTIONS - E-W

A3.50



1 SECTION (NORTH-SOUTH)
1/8" = 1'-0"

10 SUNNYSIDE AVE.

10 SUNNYSIDE AVE.
ARLINGTON, MA 02474

PROJECT

Housing Corporation of
Arlington

252 MASSACHUSETTS AVE.
ARLINGTON, MA 02474
P 781.859.5294 F 000 000.0000

OWNER

utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST
BOSTON, MA 02111
P 617 423 7200 F 617 423 1414
utiledesign.com

ARCHITECT

SAMIOTES CONSULTANTS INC.

20 A STREET
FRAMINGHAM, MA 01701
P 508.877.6686

CIVIL

BF&A

17 BRIAN ROAD
LANCASTER, MA 01523
P 978.870.4301

CODE

BLW ENGINEERS

311 GREAT ROAD
P.O. BOX #1551
LITTLETON, MA 01460
P 978.486.4301

M/E/P/FP

DATE	ISSUE / REVISION
03/09/2023	COMPREHENSIVE PERMIT

REVISIONS ON SHEET

SCALE
1/8" = 1'-0"

UTILE PROJECT NUMBER
2244

BUILDING SECTIONS - N-S

A3.51